

**MAINE TURNPIKE AUTHORITY**

**ADDENDUM NO. 2**

**CONTRACT 2023.10**

**MTA HEADQUARTERS BUILDING**  
**IMPROVEMENTS PROJECT**

**The bid opening date is Tuesday March 26, 2024 at 10:00 am.**

The following changes are made to the Proposal, Specifications and Plans.

**PROPOSAL**

The following changes are hereby incorporated into the project Proposal:

- Pages P-2 and P-3 – Schedule of Bid Prices, are deleted in their entirety and are replaced with the attached pages P-2 and P-3.

**SPECIFICATIONS**

The following changes are hereby incorporated into the project Specifications:

- Section 078413 – Penetration Firestopping: DELETE Paragraph 1.10 in its entirety. ADD in its place the following:

“1.10 QUALITY ASSURANCE

- A. Engage an experienced installer who is certified, licensed or otherwise qualified by the firestopping manufacturer as having been provided the necessary training to provide firestop products per specified requirements.”

- Section 230500 – Common Work Results: DELETE Paragraph 3.12 in its entirety. ADD in its place the following:

“3.12. Firestopping

- A. Provide through-penetration firestop systems. Refer to Division 7, Section 078413 for materials and specific requirements. Seal penetrations through fire-or smoke-rated wall, partition, ceiling, or roof assemblies with firestopping systems to restore original fire-resistance rating of assembly. Refer to Architectural plans for location of rated assemblies.”

- Special Provision 515, Protective Coating for Concrete Surfaces is deleted in its entirety and is

replaced with the attached Special Provision Section 515.

- Special Provision 800, Building and Structures is deleted in its entirety and is replaced with the attached Special Provision Section 800.
- Section 072100 – Thermal Insulation is added to the contract, see attached.

## **PLANS**

The following changes are hereby incorporated into the project Plans:

- Sheet Number: G001 – Estimated Quantities, make a pen and ink change to add the following item:

800.05 EXTERIOR MASONRY SEALER LS

- Sheet Number: A-0 thru A-19 and AD-1 thru AD-4 are deleted in their entirety and replaced with the attached architectural sheets in addendum #2. All pen and ink changes in Addendum #1 have been incorporated into the attached updated architectural plan set.
- Sheet Number: FA-102, E-102 thru E-104, and E-403 are deleted in their entirety and replaced with the attached electrical and fire protection sheets in addendum #2
- Sheet Number: M-6, MH-1, MH-2, and MP-1 are deleted in their entirety and replaced with the attached mechanical and plumbing sheets in addendum #2

## **QUESTIONS**

**The following are questions submitted to the Maine Turnpike Authority in writing. Answers to the questions are noted. Bidders shall utilize this information in preparing their bid.**

Question 1: Bit Item 800.05 Exterior Masonry Concrete And Waterproofing has been deleted from the Schedule of Bid Prices issued in Addendum #1, yet Addendum 1 notes to revise quantity to 14,000 SF.

Answer: Bid Item 800.05 has been added to addendum #2 with a quantity of Lump Sum. Special Provision 800 has been updated to reflect the areas masonry sealing is required under Bid Item 800.05.

Question 2: Bid item 515.21 is to be bid as a Lump Sum. The specification for this section mentions precast concrete and masonry structures. Please indicate extent of scope items for which this Lump Sum bid item is intended.

Answer: The lump sum bid item 515.21 Protective Coating for Concrete Surfaces, is intended for use on all exterior cast-in-place and precast surfaces (608 pay items);

to include, but not limited to, cast-in-place concrete walkways, sidewalks and patios, precast pavers in walkways, sidewalks, and patios. The brick masonry sealing is quantified separately in the 800.05 pay item.

Question 3: There is no description for Bid Items 645.106 & 645.116 regarding signage. What & where are these signs?

Answer: The intent of the bid items is to pay for the installation and removal of the 12 signs shown on plan sheet 7 (G-006), which will be provided by the MTA to be installed and removed by the contractor as indicated on the above referenced plan sheet General Notes 4, to be installed during the relocation of the E-ZPass retail center to the cafeteria and removed after the New E-ZPass Retail Center is complete. The items 645.106 & 645.116 are Standard Specification Items and specifics for the installation and removal are within the 2014 MaineDOT Standard Specifications. In general, the pay items include all labor, equipment, sign supports, sign posts, hardware and incidentals needed to install and remove the 12 signs.

Question 4: For the concrete patio slab Bid Items, is the related earthwork to be included as part of these bid item?

Answer: Yes, refer to special provision 608, Basis of Payment.

Question 5: Is Bid item 608.081 to include the cost of the underslab rigid insulation and radiant snow melt as part of this Bid Item? Or is it part of the Bid Item 800.01 Building Renovation cost?

Answer: Yes, the underslab rigid insulation and radiant piping exterior of the building façade is considered incidental to Bid Item 608.081. Refer to special provision 608, Basis of Payment.

Question 6: Is this project tax exempt?

Answer: Yes, the project tax exempt.

Question 7: Addendum #1 says the GC is responsible to include all excluded items noted on their quote issued with the addendum. If the GC is required to provide a Laptop Workstation, pipe markings, labeling, etc. these need to be specified and quantified.

Answer: The only exclusions the GC will be responsible for will be fire caulking and Patching and Painting. If any additional items are needed from the XL Automation exclusion list, they will be handled on a time and material basis.

Question 8: If our estimated quantities by scaling the bid documents are greater or less than the quantities listed on the Bid Items Schedule, which quantity do we go by? Ex: If you state 175 SY and we see it as 250 SY, do we put cost to our takeoff quantity and divide it by the 175 which

would show a higher unit price for that item? Or do we just provide unit cost based on the stated quantity?

Answer: Unit Price shall be provided based on the cost to perform one unit of measurement. The contractor will be paid for the actual measured quantity of item installed which could be an increase or decrease from the estimated quantities shown in the Bid Documents. Such increase or decrease shall not be considered Extra Work. See MTA 2016 Supplemental Specification Section 109.1 for more information.

Question 9: In Bid item 608.081 is the resetting of the top granite step to be included with this Bid Item or part of the Bid Item 800.01 Building Renovation cost?

Answer: If required, cost will be paid for by appropriate hourly items, refer to general note 8, plan sheet 2.

Question 10: In Bid item 608.081 we have to include the cost to remove & replace the existing MTA monument. Is this on a foundation? Does the new slab run under this? Does it just set down back on the slab without foundation?

Answer: No, the monument is not currently on a foundation, The new slab will not run under the monument. To remove and reset (replace) the monument, the monument will be removed and demolition of existing patio/walkway and regrading and replacing of the patio/walkway with new broomed finished concrete. The area where the monument will be reset will be bonded out from the new concrete slab placement and then shimmed to an elevation of 2" below the new slab elevation, as directed by the resident engineer. The monument will be reset and the gap between the monument and the slab will be sealed with an approved sealant. All work for the removing and resetting the monument will be incidental to the 608.081 pay item.

Question 11: Is there any masonry that is not part of the 800 series bid item that should be included in the NTA Building Bid item?

Answer: No, all exterior brick masonry work is paid for as part of an 800 series bid items, see Section 040120.64 paragraph 1.4. The specification governing the work are found in Section 040120.64. Masonry sealant will be paid for under item 800.05.

Question 12: Do the series 800 Bid Items include the work at the masonry & precast work at the front patio?

Answer: Yes, refer to special provision 800.

Question 13: In the Building Renovation Lump Sum, do we include the replacement of damaged patio pavers? Does this a deduct in Bid Item 608.082?

Answer: The Building Renovation Lump sum Pay Item 800.01 is not intended to include patio work. The two patio side areas denoted as “29” in detail A on plan sheet AD-4 and denoted as “Pay Item 608.082” in the “Front Entryway/Patio Plan” detail on plan sheet G-003 will be paid for in one of two ways. IF the MTA chooses to retain the two existing patio side areas, the contractor will be paid by Pay Item 608.10 “Brick Sidewalk (Remove and Rebuild)” to replace the broken pavers with salvaged pavers removed from the lower section as noted in note “16” in detail A on plan sheet AD-4. IF the MTA chooses to remove the pavers in the two existing side patio areas and replace with a reinforced concrete sidewalk, the contractor will be paid by Pay Item 608.082. See specification 608 for work that is considered incidental to both pay items. The intent is not to utilize both pay items and the item that is not utilized will be deducted from the contract through a change order.

Question 14: Does the repointing Bid Item include the work at the precast caps?

Answer: Yes, see Section 040120.64 – Brick and Masonry Repointing.

Question 15: What is included in Bid Item 800.03 Fenestration Joint Sealant Remove & Replace? Is this for the window caulking?

Answer: Yes, see Section 040120.64 Brick and Masonry Repointing and Section 079200 Joint Sealants.

Question 16: Bid Item 608.10 Brick Sidewalk (Remove & Rebuild), there is no description for what this Bid Item scope entails?

Answer: Special Provision 608 supplements MaineDOT 2014 Standard Specifications. Refer to MaineDOT 2014 Standard Specification, Section 608 – Sidewalks.

Question 17: Bid Item 608.26 Curb Ramp Detectable Warning Field. There is no description for what this Bid Item scope entails. The datable Warning strip is included in Bid Item 608.081 so not sure what this item includes?

Answer: Special Provision 608 supplements MaineDOT 2014 Standard Specifications. Refer to MaineDOT 2014 Standard Specification, Section 608 – Sidewalks.

Question 18: Please quantify what the Lump Sum Bid Item 515.21 Protective Coating For Concrete Surfaces. Please confirm if this is for just the new concrete patio slabs (Bid Items 608.081 & 608.082). If so, is it 1 Lump Sum number for both areas?

Answer: Refer to response to question #2 of this Addendum.

Question 19: I don't see any mention of what is happening with the wood wainscot wall panels at the EZ Pass reno on the walls that aren't demoed (exterior wall). Are these to remain or be demoed?

Answer: All hard wood wall panels not called out for removal shall be protected, and any hard wood wall panels within the demoed area of the existing E-ZPass retail center shall be removed without damage, salvaged and reused if possible in the renovation of the E-ZPass retail center.

Question 20: Bid Item 631.172: What is considered a "Large Truck"?

Answer: Refer to MaineDOT 2014 Standard Specification, Section 631 – Equipment Rental.

Question 21: Detail 2/A-18 Transaction Window Wall Section. There is a clouded note: "Upper Portion of Wall, Glass, and HVAC Modifications Not In Contract".

Answer: Refer to updated architectural plan sheets attached to this addendum.

Question 22: E-ZPass CSR 219: There is a clouded note: "Wal Cabinets Not In Contract". 2/A-18 Transaction Window Wall Section. There is a clouded note: "Upper Portion of Wall, Glass, and HVAC Modifications Not In Contract".

Answer: Refer to updated architectural plan sheets attached to this addendum.

Question 23: Is the current fire alarm system notifier?

Answer: Yes, the current fire alarm system is a Notifier system.

Question 24: Note 8 on sheet E-401, can you give us any detail of the exterior lighting circuits?

Answer: See Exterior Lighting Schedule on E-603 for more information on the exterior lighting circuits.

Question 25: Do you want telecom included in electrical bid's and if so to what extent?

Answer: The telecom scope should be included in the GC's overall bid regardless of which sub carries it.

Question 26: Sheet E-605. For the electrical panels lines where its faded does that mean its existing?

Answer: Yes, faded means existing to remain.

Question 27: Where the line is bold with a \* we are to reuse the beaker, is that correct? Where the line is bold but doesn't have a \* does that mean you need a new breaker?

Answer: Yes, Bold with a \* means to reuse the breaker. Bold without a \* means to provide a new breaker.

Question 28: Does electrical need to dispose of the existing lights to be removed or are we just cutting and making safe for demo?

Answer: The overall bid should include the disposal of the lights regardless of which sub carries it.

Question 29: Do you need cable tray included? If so what size and how long?

Answer: Install a 1x8 wire basket type cable tray from Open Office 224 to Tel/Data Rm 206 for cabling home runs. Within the Open Office 224 area install a 1x4 wire basket type cable tray north to south on or near the west wall. All cabling to be supported by Cable tray, J-Hooks or within conduit.

Question 30: The finish schedule on drawing A-14 calls for new ACT at Conference Room 213. The demo plans do not indicate existing ceiling removal at this room.

Answer: The Finish Schedule at Conference 213 has been changed. This change is defined in the plan section of this addendum.

Question 31: Is it mandatory to have an “Approved FM Global Firestopping Contractor perform all firestopping on this project?

Answer: No, an “Approved FM Global Firestopping Contractor” is not required to perform the work. This change is defined in the specification section of this addendum.

Question 32: Reference Drawing A-9: The new EZ Pass Customer Lobby is showing five new transaction windows which are specified to be 60”x42”. We don’t have a north/south dimension on the new lobby, but it scales to approximately 24’; so it appears that five 60” windows will not fit in this space. Please clarify.

Answer: Refer to updated architectural plan sheets attached in this addendum.

Question 33: Is the subcontractor insurance requirement of \$1,000,000.00 per occurrence/\$2,000,000.00 aggregate required for all subcontractors or just major subs over a certain contract value?

Answer: The insurance requirement is for all subcontractors.

Question 34: Does the electrical contractor need to supply the snow melt system?

Answer: The snow melt system scope should be included in the GC's overall bid regardless of which sub carries it.

• Addendum No. 2	(8 pages)
• Special Provision 515	(3 Pages)
• Special Provision 800	(2 Pages)
• Section 072100 Specification	(3 Pages)
• Proposal – Schedule of Bid Prices	(2 pages)
• Architectural Plan Sheets	(24 Pages)
• Electrical Plan Sheets	(5 Pages)
• Mechanical and Plumbing Sheets	(4 Pages)

**Notes:** The above items shall be considered as part of the bid submittal.

The total number of pages included with this addendum is 51 pages.

All bidders are requested to acknowledge the receipt of the Addendum No. 2 by signing below and emailing this sheet to Nathaniel Carll, Purchasing Department, Maine Turnpike Authority at [ncarll@maineturnpike.com](mailto:ncarll@maineturnpike.com). Bidders are also required to acknowledge receipt of this Addendum No. 2 on Page P-4 of the bid package.

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Business Name

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Print Name and Title

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Signature

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Date

Very truly yours,

MAINE TURNPIKE AUTHORITY

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Nathaniel Carll Purchasing Department Maine Turnpike Authority

SPECIAL PROVISION

SECTION 515

PROTECTIVE COATING FOR CONCRETE SURFACES

(Clear Concrete Protective Coating)

Section 515, Protective Coating for Concrete Surfaces, is deleted in its entirety and replaced with the following:

515.01 Description

The work shall include the surface preparation and application of a clear protective coating on concrete surfaces to protect the new reinforced concrete sidewalk and existing patio precast concrete pavers that remain in place. The coating system shall be applied in accordance with the Plans, Specifications and the manufacturer's published recommendations.

515.02 Materials

The penetrating sealer shall be:

**Certi-Vex Penseal 244-100%**

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	20-90
Silanes (%)	100% silane, alcohol based
VOCs (g/L)	< 250

**Sikagard 705 L**

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	40-95
Silanes (%)	100% silane, alcohol based
VOCs (g/L)	100

**SIL-ACT ATS-100 LV Silane**

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	40-110
Silanes (%)	100% silane, alcohol based
VOCs (g/L)	< 250

**SIL-ACT ATS-300**

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	20-110
Silanes (%)	100% silane, solvent based
VOCs (g/L)	242

The product shall comply with regulations limiting the Volatile Organic Compound (VOC) content of architectural and industrial maintenance coatings.

The Contractor shall submit the product's data sheets, material safety data sheets and recommended instructions for application.

Materials shall be delivered to the site in original packages or containers bearing the manufacturer's labels and identification.

#### 515.21 Substitute Materials

The Contractor shall submit a written request for approval of proposed substitute material naming the proposed manufacturer and product. This request shall be accompanied by:

1. Test data from an independent testing laboratory stating that the proposed substitute meets or exceeds the specified requirements as listed and has been tested in accordance with the specified test standards.
2. Documentation that the proposed material has a proven record of performance when used in the intended application as confirmed by actual field tests and successful installations in place on at least five similar projects.
3. Certification that if two or more types of products are intended to be used as part of a system, they will be supplied by the same manufacturer to ensure compatibility of materials, and to maintain single source manufacturer responsibility.

The Resident reserves the right to require additional testing to evaluate any proposed substitute product at no additional cost to the Authority. The Resident's decision as to the acceptability or non-acceptability of the proposed product shall be final.

#### 515.03 Surface Preparation

All caulking, patching, and joint sealant shall be installed prior to application of the sealer. On new surfaces to be treated, all voids shall be dressed by dry rubbing to remove form marks and blemishes to present a neat appearance. Concrete and masonry surfaces shall be cleaned free of dust, surface dirt, oil, efflorescence and contaminants to ensure penetration of the sealer. The surface may be slightly damp at the time of treatment.

The Contractor may use, when required, appropriate cleaning materials recommended by the sealer manufacturer in conjunction with high pressure water for cleaning the concrete or masonry.

#### 515.04 Application

The Contractor shall apply the clear concrete protective coating in strict accordance with the manufacturer's published recommendations.

The work shall not be conducted when there is a chance of the surface temperature falling below minimum allowable temperature in the 24-hours following application; nor should it be applied on hot, windy days.

The treatment shall not be applied during rain to wet surfaces. It shall not be applied when winds are sufficient to carry airborne chemicals. Product shall be cured per the manufacturer's recommendations.

Prior to applying the sealer, the Contractor shall protect all surrounding non-masonry/non-concrete surfaces, landscape and lawn areas, and surfaces not designated for treatment, from contact with the penetrating sealer, and prevent overspray of the penetrating sealer caused by wind drift.

The Contractor shall ensure that all safety equipment, facilities and precautions recommended by the product manufacturer are furnished and/or strictly adhered to.

The sealer material shall be applied in the manner and with the equipment recommended by the product manufacturer. Coverage will vary depending on condition, texture and porosity of the surfaces. Pre-testing is required to determine acceptability of the procedure.

Sealer shall be applied as packaged without dilution or alteration. Sufficient material shall be applied to thoroughly saturate the surface making sure to brush out excess material that does not penetrate.

When the sealer is applied to horizontal surfaces, it shall be applied in a single saturating application with sufficient material and applied so the surface remains wet for one to two minutes before penetration into the concrete. Surface residues, pools and puddles shall be broomed-out thoroughly until they completely penetrate into the surface.

When the sealer is applied to vertical and sloped surfaces, it shall be applied in a "wet-on-wet" application for best results on most porous materials. In the case of extremely dense concrete, it may be necessary to restrict the amount of material applied to one saturating application in order to prevent surface darkening.

#### 515.05 Method of Measurement

Clear Concrete Protective Coating for Concrete Surfaces will be measured for payment by the lump sum, complete and in-place. Refer to Standard Specification 515 Protective Coating for Concrete Surfaces additional information.

#### 515.06 Basis of Payment

Protective coating for concrete surfaces will be paid for at the contract unit price per lump sum, as specified.

Payment will be made under:

Pay Item

Pay Unit

515.21 Protective Coating for Concrete Surfaces

Lump Sum

## SPECIAL PROVISION

### SECTION 800

#### BUILDING AND STRUCTURES

(Maine Turnpike Headquarters Building Renovation)  
(Exterior Masonry Control Joint Sealant Remove and Replace)  
(Exterior Masonry Fenestrations Joint Sealant Remove and Replace)  
(Exterior Masonry Repointing)

#### 800.1 Description

All work shall be completed in accordance with the contract Plans and the requirements of Appendix A of the contract Specifications.

All existing brick and stone masonry on the exterior of the Headquarters Building including but not limited to all four building elevations, windowsills, portico, rear balcony, and brick masonry retaining walls with associate granite wall caps shall be sealed in accordance with manufacturers written instructions and as specified in section 040120.64 Brick Masonry Repointing.

#### 800.3 Method of Measurement

Maine Turnpike Headquarters Building Renovation will be measured for payment by the lump sum, complete and in-place.

Exterior Masonry Control Joint Sealant Remove and Replace and Exterior Masonry Fenestrations Joint Sealant Remove and Replace will be measured for payment by the linear foot, complete and in-place.

Exterior Masonry Repointing will be measured for payment by the square foot, complete and in-place.

Exterior Masonry sealing will be measured for payment by lump sum, complete and in-place.

#### 800.4 Basis of Payment

Maine Turnpike Headquarters Building Renovation, Exterior Masonry Control Joint Sealant Remove and Replace, Exterior Masonry Fenestrations Joint Sealant Remove and Replace, Exterior Masonry Repointing, and Exterior Masonry Sealing will be paid for at their respective unit prices which shall be full compensation for the cost of furnishing all materials, equipment, access, labor and incidentals necessary to satisfactorily complete the work in

accordance with the Plans and these Specifications.

Payment will be made under:

<u>Pay Item</u>	<u>Pay Unit</u>
800.01 Maine Turnpike Headquarters Building Renovation	Lump Sum
800.02 Exterior Masonry Control Joint Sealant Remove and Replace	Linear Foot
800.03 Exterior Masonry Fenestrations Joint Sealant Remove and Replace	Linear Foot
800.04 Exterior Masonry Repointing	Square Foot
800.05 Exterior Masonry Sealing	Lump Sum

SECTION 072100

THERMAL INSULATION

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings, Contract Conditions and other Technical Specifications Sections apply to work of this Section insofar as applicable.
- B. Coordinate work with that of all other trades affecting, or affected by work of this Section. Cooperate with such trades to assure the steady progress of all Project work.

1.02 DESCRIPTION

- A. The work includes furnishing of all labor and materials necessary to provide an installation which is complete in every respect and of the composition and quality as specified herein.
- B. Applications of insulation specified in this section include, but are not limited to, the following:
  1. Board type for exterior concrete slab.

1.03 QUALITY ASSURANCE

- A. Thermal Resistance: Where a minimum "R" value is given, provide thickness required to achieve indicated value.
- B. Thermal Transmittance-Heat Transfer: Where a maximum "U" value is given for a wall assembly, provide thickness required to achieve indicated value.

1.04 SUBMITTALS

- A. Product Data: Submit eight (8) copies of the manufacturers' specifications and installation instructions for each type of insulation and vapor barrier material required.
- B. Certified Tests: Submit eight (8) copies of certified test report showing compliance with specified performance values if submitted product is other than those specified.

1.05 PRODUCT HANDLING

Protect insulation from sunlight, from physical damage and from becoming wet, soiled, or covered with ice and snow. Comply with manufacturers' recommendations for handling, storage and protection during installation.

## PART 2 - MATERIALS

### 2.01 MANUFACTURERS

Available Manufacturers: Subject to compliance with requirements, manufacturers offering products which may be incorporated in the work include, but are not limited to those listed below.

### 2.02 MATERIALS

A. Extruded Polystyrene Board Insulation: Rigid, closed-cell, extruded, polystyrene insulation board with integral high-density skin; comply with ASTM C 578, Type IV, achieve minimum compressive strength of 25 psi at 10% deformation per ASTM D 1621; achieve maximum moisture absorption of 0.3% by volume per ASTM C 272; 5-year aged R-value of 5 per inch at 75°F.

"SM", "TG" or "RM", Dow Chemical Co.  
Formula 400, UC Industries/U.S. Gypsum

Expanded polystyrene insulation board is not acceptable.

## PART 3 - EXECUTION

### 3.01 INSPECTION AND PREPARATION

Examine substrate and conditions under which insulation work is to be performed and notify the Engineer in writing of unsatisfactory conditions. Do not proceed with insulation work until unsatisfactory conditions have been corrected in an acceptable manner.

Clean substrates of substances harmful to insulations (or vapor barriers, including removal of projections which might puncture vapor barriers).

### 3.02 INSTALLATION OF INSULATION

- A. Comply with manufacturers' instructions for installation or consult manufacturer's technical representative for specific recommendations before proceeding with work.
- B. Apply insulation (full thickness) over entire area to be insulated. Cut and fit tightly around obstructions, and fill voids with insulation, taking care not to overly compress the insulation. Remove projections which interfere with placement.
- C. Under-slab Insulation

Set units in accordance with the manufacturer's instructions and recommendations and protect from damage.

#### 3.04 PROTECTION

Protect installed insulation from harmful weather exposures and from physical abuse. Installer shall advise Contractor of exposure hazards, including possible sources of deterioration and fire hazards.

END OF SECTION

**SCHEDULE OF BID PRICES  
CONTRACT NO. 2023.10  
MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT**

Item No	Item Description	Units	Approx. Quantities	Unit Prices in Numbers		Bid Amount in Numbers	
				Dollars	Cents	Dollars	Cents
515.21	PROTECTIVE COATING FOR CONCRETE SURFACES	Lump Sum	1				
608.081	REINFORCED CONCRETE SIDEWALK - AREA A	Square Yard	175				
608.082	REINFORCED CONCRETE SIDEWALK - AREA B	Square Yard	250				
608.10	BRICK SIDEWALK (REMOVE AND REBUILD)	Square Yard	250				
608.26	CURB RAMP DETECTABLE WARNING FIELD	Square Foot	10				
629.05	HAND LABOR, STRAIGHT TIME	Hour	40				
631.12	MINI-ALL PURPOSE EXCAVATOR (INCLUDING OPERATOR)	Hour	40				
631.172	TRUCK-LARGE (INCLUDING OPERATOR)	Hour	40				
631.36	FOREMAN	Hour	40				
631.51	SISSOR LIFT	Hour	60				
631.52	BOOM LIFT	Hour	60				
631.53	ELECTRICIAN	Hour	100				
631.54	ELECTRICIAN'S APPRENTICE	Hour	100				

**CARRIED FORWARD:**

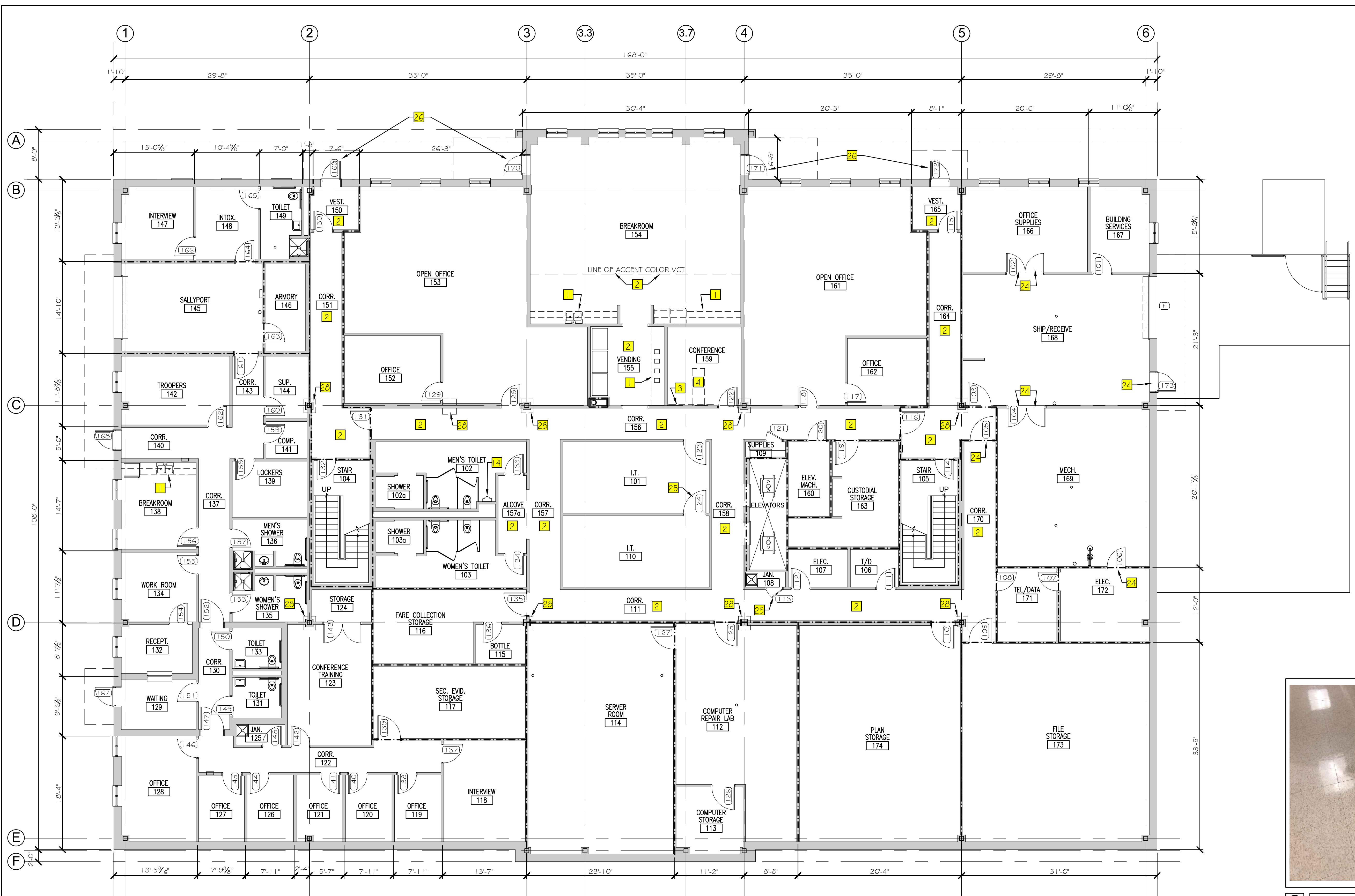
Item No	Item Description	Units	Approx. Quantities	Unit Prices in Numbers		Bid Amount in Numbers	
				Dollars	Cents	Dollars	Cents
<b>BROUGHT FORWARD:</b>							
631.55	PLUMBER	Hour	20				
631.56	PLUMBER APPRENTICE	Hour	20				
631.57	HVAC TECHNICIAN	Hour	60				
631.58	HVAC APPRENTICE	Hour	60				
645.106	DEMOUNT REGULATORY WARNING CONFIRMATION AND ROUTE MARKER SIGN ASSEMBLY	Each	12				
645.116	REINSTALL REGULATORY WARNING CONFIRMATION AND ROUTE MARKER ASSEMBLY SIGN	Each	12				
659.10	MOBILIZATION	Lump Sum	1				
800.01	MAINE TURNPIKE HEADQUARTERS BUILDING RENOVATION	Lump Sum	1				
800.02	EXTERIOR MASONRY CONTROL JOINT SEALANT REMOVE AND REPLACE	Linear Foot	930				
800.03	EXTERIOR MASONRY FENISTRATIONS JOINT SEALANT REMOVE AND REPLACE	Linear Foot	3,280				
800.04	EXTERIOR MASONRY REPOINTING	Square Foot	1,000				
800.05	EXTERIOR MASONRY SEALER	Lump Sum	1				
<b>TOTAL:</b>							

# CODE ANALYSIS

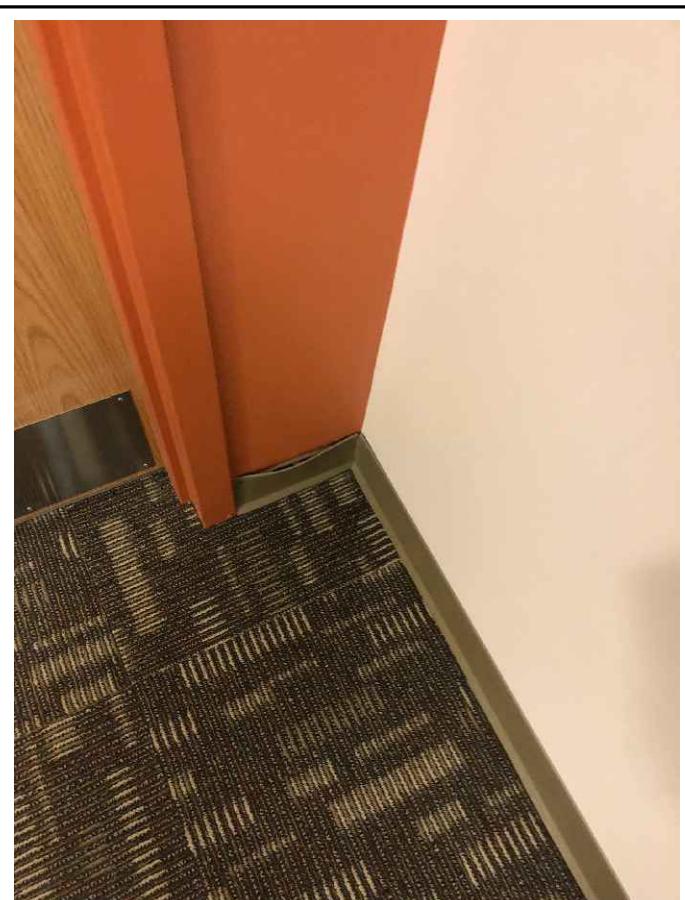
NFPA 101 Life Safety Code - 2018 / 2021 Edition		NFPA 101 Life Safety Code - 2018 / 2021 Edition (cont.)		2015 International Building Code (cont.)	
Building Classification:	54,624 sf Business - Professional Offices (Existing Use-2012)	Interior Wall/Ceiling Finishes Class:	Class A or B in Exits or Exit Corridors. Class A, B, or C in all other areas.	Fire Resistance Ratings	
Hazard Classification:	Ordinary Hazard	Interior Floor Finishes Class:	Class I or II in Exits or Exit Corridors.	Load Bearing Exterior Walls:	None
Construction Type:	Type 2B (000); Sprinkled	2015 International Building Code		Load Bearing Interior Walls:	None
Occupant Loads:	40,224 sf Offices @ 100 sf/occupant = 403 occupants 4,790 sf Assembly @ 15 sf/occupant = 319 occupants 5,500 sf Storage @ 500 sf/occupant = 12 occupants 4,110 sf Utility @ 0 sf/occupant = NA Total Occupant Load = 734 occupants	Building Classification:	54,624 sf Business - Professional Offices (Existing Use-2012)	Floor/Roof Structure:	None
Janitor, Mech & Storage Rooms:	1 hour minimum	Hazard Classification:	Ordinary Hazard	Internal Structural Frame:	None
Egress Stair Rating:	1 hour minimum	Construction Type:	Type IIB (000); Sprinkled	Minimum Number of Exits:	2
Elevator Shaft Rating:	1 hour minimum	Occupant Loads:	40,224 sf Offices @ 100 sf/occupant = 403 occupants 4,790 sf Assembly @ 15 sf/occupant = 319 occupants 5,750 sf Storage @ 300 sf/occupant = 20 occupants 4,110 sf Utility @ 300 sf/occupant = 14 occupants Total Occupant Load = 756 occupants	Maximum Dead-End Corridor Length:	50'
Building Uses	Business; Sprinkled	Janitor, Mech & Storage Rooms:	1 hour minimum	Maximum Common Travel Path:	75'
Max. Allowable Travel Distance:	300'	Egress Stair Rating:	1 hour minimum	Maximum Travel Distance:	300'
Max. Allowable Common Path:	100'	Elevator Shaft Rating:	1 hour minimum	Minimum Corridor Width:	36"
Max. Dead End Corridor Length:	50'	Building Limitations		Minimum Ceiling Height:	7'-6"
Minimum Egress Corridor Width:	36" clear	Construction Type:	Type IIB - Multiple Story; Sprinkled	Fire Alarm System:	Required
Minimum Number of Required Exits:	2	Maximum Height:	75'; 4 stories	Fire Sprinkler System:	Required
Minimum Egress Door Width:	36"	Maximum Area / Floor:	69,000 sf	Portable Fire Extinguishers:	Required
Exit Lighting:	Required	Actual Area/Height:	54,624 sf & 3 Stories (Existing)	Exit Lighting:	Required
Emergency Lighting:	Required			Emergency Lighting:	Required
Fire Alarm System:	Required			Exit Devices/Panic Hardware:	Required
Fire Sprinkler System:	Not Required (Existing Use)				
Portable Fire Extinguishers:	Required				
Exit Devices/Panic Hardware:	Required				

ABBREVIATIONS	GENERAL NOTES	MATERIALS	SYMBOLS	DRAWING INDEX
<p>AFF ABOVE FINISH FLOOR ALUM or AL ALUMINUM AWP ACOUSTICAL WALL PANEL BIT BITUMINOUS BM BENCH MARK BOT BOTTOM BRG BEARING BRK BRICK C CARPET CAB CABINET CB CHALK BOARD CC CENTER TO CENTER CH CONCRETE FLOOR CJ CONTROL JOINT CL CENTER LINE CLG CEILING CMU CONCRETE MASONRY UNIT CONC CONCRETE CONT CONTINUOUS CONST CONSTRUCTION CONTR CONTRACTOR CT CERAMIC TILE DBL DOUBLE DC DOOR CLOSER DIA DIAMETER DIM DIMENSION DNA DOES NOT APPLY DR DOOR DTL DETAIL DWG DRAWING E EAST EA EACH EF EACH FACE EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMHO ELECTROMAGNETIC EQ EQUAL EW EACH WAY EWC ELECTRIC WATER COOLER EXIST OF (E) EXISTING EXP EXPANSION EXT EXTERIOR FCS FLOOR COATING SYSTEM FD FLOOR DRAIN FDN FOUNDATION FF FIRE EXTINGUISHER FFE FINISH FLOOR ELEVATION FIN FINISH FIN FL or FF FINISH FLOOR FIN GR FINISH GRADE FL FLOOR FR FIRE RATING FRMG FRAMING FT FEET (FOOT) FV FIELD VERIFY FWC FABRIC WALL COVERING G GRANITE GA GAUGE GALV GALVANIZED GB GRAB BARS GC GENERAL CONTRACTOR GWB GYPSUM WALL BOARD HC HANDICAP HD WD HARDWOOD HDR HEADER HM HOLLOW METAL HORIZ HORIZONTAL HT HEIGHT ID INSIDE DIAMETER IF INSIDE FACE IN INCHES INSUL INSULATION INT INTERIOR JNT or JT JOINT KEC KITCHEN EQUIPMENT CONSULTANT KP KICK PLATE L LABORATORY LAB LABEL (FIRE) LNTL LINTEL LOC LOCATION LS LOCSET M MARBLE MAS MASONRY MAX MAXIMUM MB MARKER BOARD MECH MECHANICAL MFGR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MO MO MASONRY OPENING MR MOISTURE RESISTANT MRGB GYPSUM BOARD MTL METAL N NORTH NA NOT APPLICABLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER OF OUTSIDE FACE OPNG OPENING OPP OPPOSITE P PAINT PTD PAINTED PL PLATE PLY WD PLYWOOD PNL PANEL PS PASSAGE LATCH SET PT &amp; D PRESSURE TREATED PTN PARTITION RD ROOF DRAIN REFER REFRIGERATOR REINF REINFORCED REQD REQUIRED RM ROOM RO ROUGH OPENING SC SCHEDULE SECTION SCHED SCHEDULE SECT SECTION SGB SUSPENDED GYPSUM BOARD CEILING SHEET SAT SOUTH SUSPENDED ACOUSTICAL TILE CEILING SHOWER CURTAIN SOAP DISPENSER SCHE SD SECTION SD SUSPENDED SPECIFICATIONS SQ SQUARE SS9 SYNTHETIC SPORTS SURFACE STD STANDARD STL STEEL STRUCT STRUCTURAL STV STRAIGHT VINYL BASE SV SHEET VINYL TB TEMPERED (GLASS) TACK BOARD TB TOP OF TOM TOP OF BEAM TOP OF MASONRY TOP OF WALL TP TOILET PAPER DISPENSER TYP TYPICAL VB VAPOR BARRIER VCT VINTYL COMPOSITION TILE VERT VERTICAL VWC VINYL WALL COVERING W WEST W/W WC WATER CLOSET WD WOOD WF WATER FOUNTAIN WG WIRE GLASS WP WOOD PANELING</p> <p>1. ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR THE WORK. 2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION. 3. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA. 4. WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS, DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED. 5. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE BUILDING. SITE BURNING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH WORK DAY. 6. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS. 7. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED. 8. ALL CEILINGS SHALL BE LEVEL TO A TOLERANCE OF <math>\frac{1}{8}</math>" IN A 20'-0" RADIUS WHEN CHECKED WITH A 10'-0" STRAIGHT EDGE. 9. INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND ACCESSORIES. 10. ALL GRAB BARS AND HANDRAILS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS. AT ANY POINT. 11. THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL. 12. ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, U.N.O. 13. ALL NEW SHEETROCK IN WET AREAS (PLUMBING FIXTURES) SHALL BE MOISTURE-RESISTANT TYPE, U.N.O. 14. ALL NEW INTERIOR WALLS SHALL HAVE FULL-THICK INSULATION. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL DESIGN-BUILD ENGINEERING, BUILDING TRADES &amp; DISCIPLINES. 16. REFER TO THE ACCESSIBILITY DETAIL SHEET FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MTRA) CONSTRUCTION CRITERIA. 17. DOORWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WITH THE DOOR OPEN 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. 18. ALL DOORS SHALL HAVE LEVER HANDLE HARDWARE, EXCEPT AT SECURED STORAGE ROOMS, MECHANICAL ROOMS, AND ELEVATOR MACHINE ROOMS.</p>	<p>CONCRETE CONCRETE MASONRY UNIT BRICK GRAVEL SOIL STUD PARTITION (EXISTING) STEEL WOOD FRAMING WOOD BLOCKING PLYWOOD SUSPENDED ACOUSTICAL TILE BATT INSULATION RIGID INSULATION FINISH WOOD ONE HOUR RATED PARTITION TWO HOUR RATED PARTITION EXISTING PARTITION (SCREENED) NEW PARTITION</p>	<p>ROOM NUMBER DOOR NUMBER WINDOW NUMBER BUILDING SECTION WALL SECTION DETAIL SECTION CASEWORK ELEVATION ROOF PLAN EZ PASS PLAN &amp; ELEVATIONS INTERIOR ELEVATION VERTICAL ELEVATION PARTITION TYPE STRUCTURAL CENTERLINE</p>	<p>A-0 ARCHITECTURAL CODES, NOTES &amp; GRAPHIC STANDARDS AD-1 EXISTING / DEMOLITION FIRST FLOOR PLAN AD-2 EXISTING / DEMOLITION SECOND FLOOR PLAN AD-3 EXISTING / DEMOLITION THIRD FLOOR PLAN AD-4 EXTERIOR PATIO DEMOLITION PLAN A-1 PROPOSED FIRST FLOOR PLAN A-2 PROPOSED SECOND FLOOR PLAN A-3 PROPOSED THIRD FLOOR PLAN A-4 EXTERIOR PATIO PLAN A-5 FIRST FLOOR REFLECTED CEILING PLAN A-6 SECOND FLOOR REFLECTED CEILING PLAN A-7 THIRD FLOOR REFLECTED CEILING PLAN A-8 ROOF PLAN A-9 EZ PASS PLAN &amp; ELEVATIONS A-10 BREAK ROOM CASEWORK A-11 VENDING &amp; KITCHENS CASEWORK A-12 DOORS A-13 DOORS A-14 FINISHES A-15 FINISHES A-16 DETAILS A-17 ACCESSIBILITY DETAILS &amp; NOTES A-18 TEMPORARY EZ-PASS CUSTOMER SERVICE AREA PLAN &amp; DETAILS A-19 CALL CENTER FURNITURE PLAN</p>	

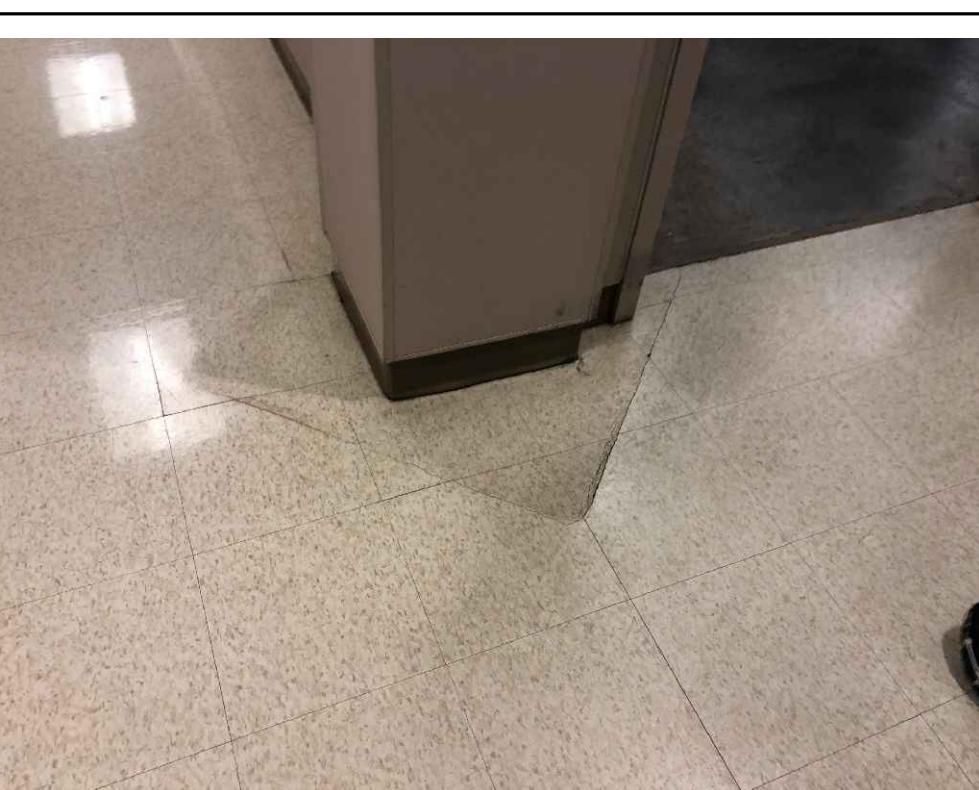
Scale: NO SCALE	Designed by:	 Michael F. Hays, RA	 <b>GRANT HAYS ASSOCIATES</b> ARCHITECTURE & INTERIOR DESIGN P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900 www.granthays.com	<b>THE GOLD STAR MEMORIAL HIGHWAY</b>	<b>MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT ARCHITECTURAL CODES, NOTES &amp; GRAPHIC STANDARDS</b>	SHEET NUMBER: A-0
No.	Revision	By	Date			
						CONTRACT: 2023.10
Designed	MFH	02/26/24	Checked	MFH	02/26/24	
Drawn	MGK	02/26/24	In Charge of			8 OF 70



FOR DEMOLITION NOTES  
SEE SHEET AD-2



① EXISTING WALL BASE CONDITION 20



② EXISTING CONDITION AT 28 FLOOR DEPRESSION

Scale: 1/8"=1'-0"

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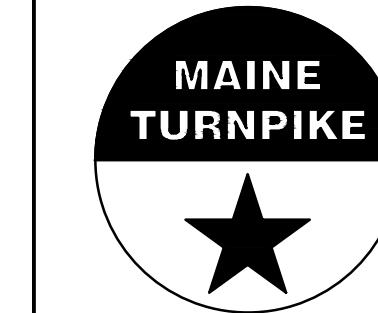


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THE GOLD STAR  
MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
EXISTING/DEMOLITION  
FIRST FLOOR PLAN

SHEET NUMBER: AD-1

9 OF 70



Scale: 1/8"=1'-0"

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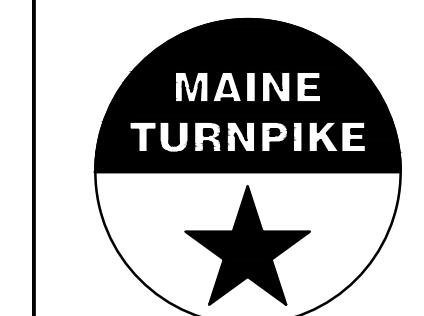
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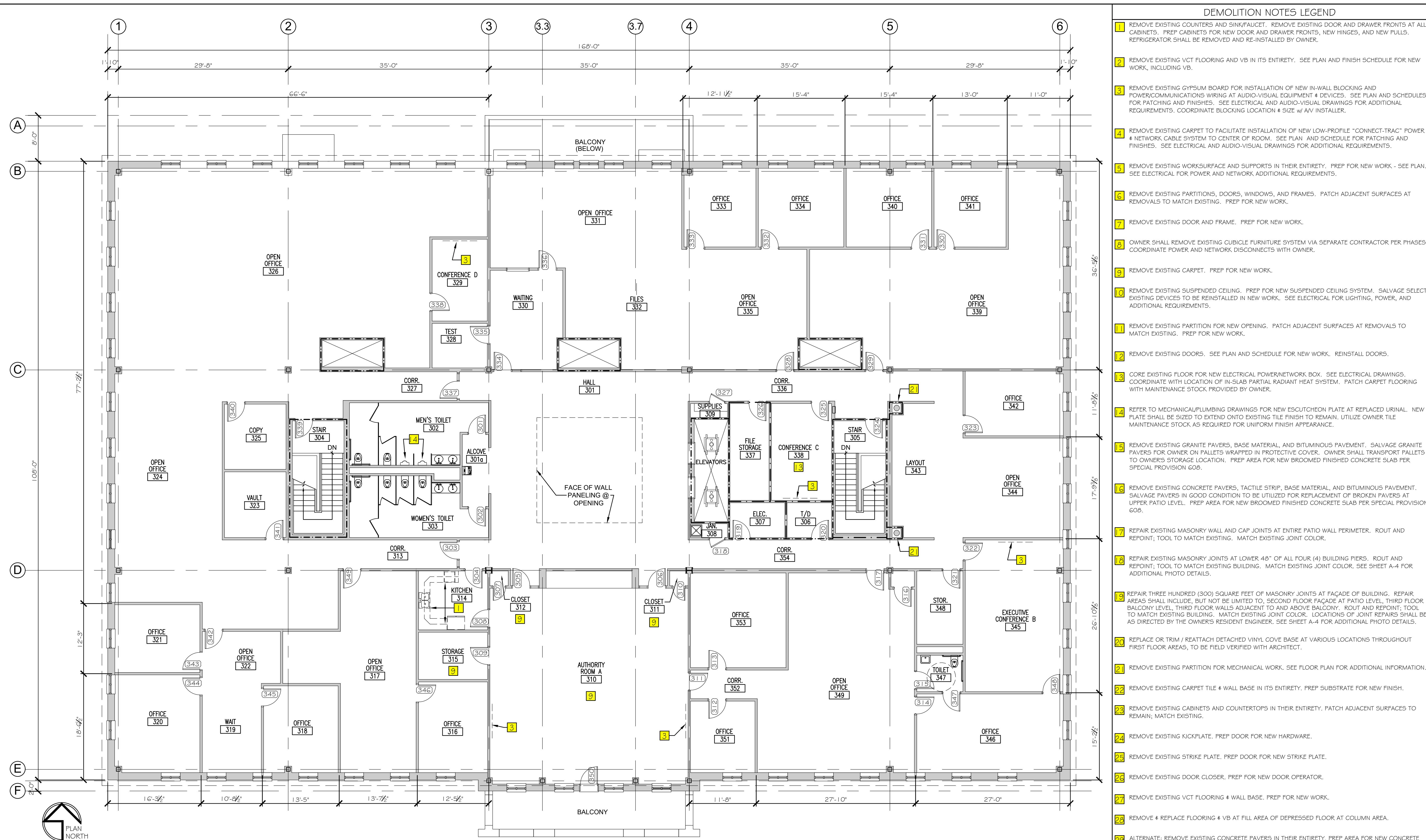
THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
EXISTING/DEMOLITION  
SECOND FLOOR PLAN

SHEET NUMBER: AD-2

CONTRACT: 2023.10

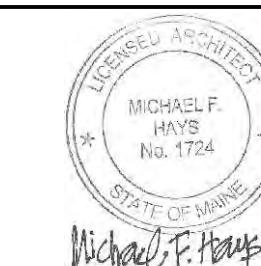
10 OF 70



Scale: 1/8"=1'-0"

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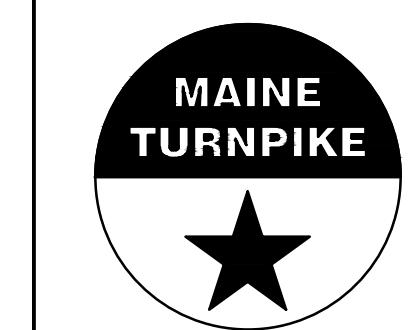
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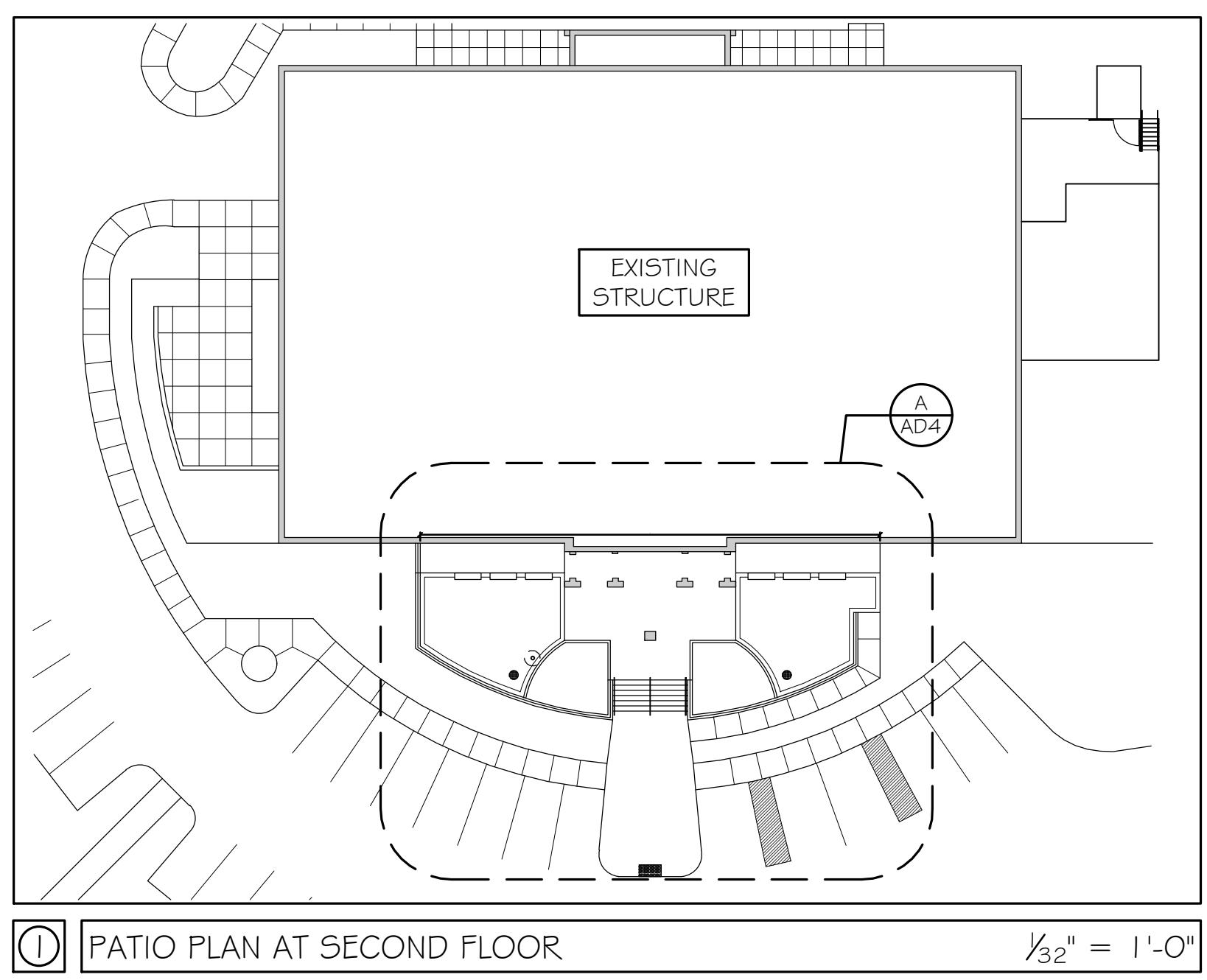
THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
EXISTING/DEMOLITION  
THIRD FLOOR PLAN

SHEET NUMBER: AD-3

CONTRACT: 2023.10

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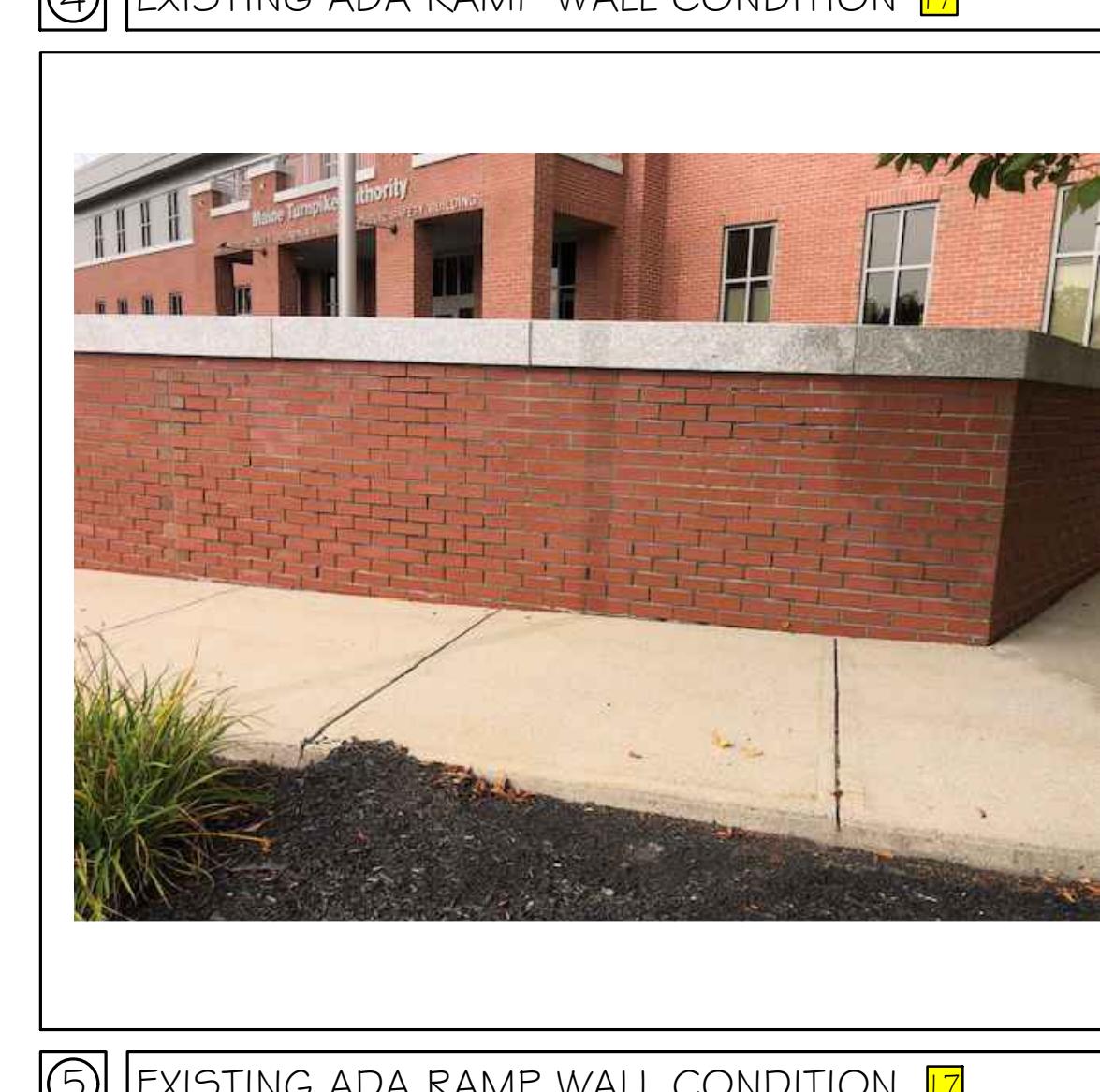
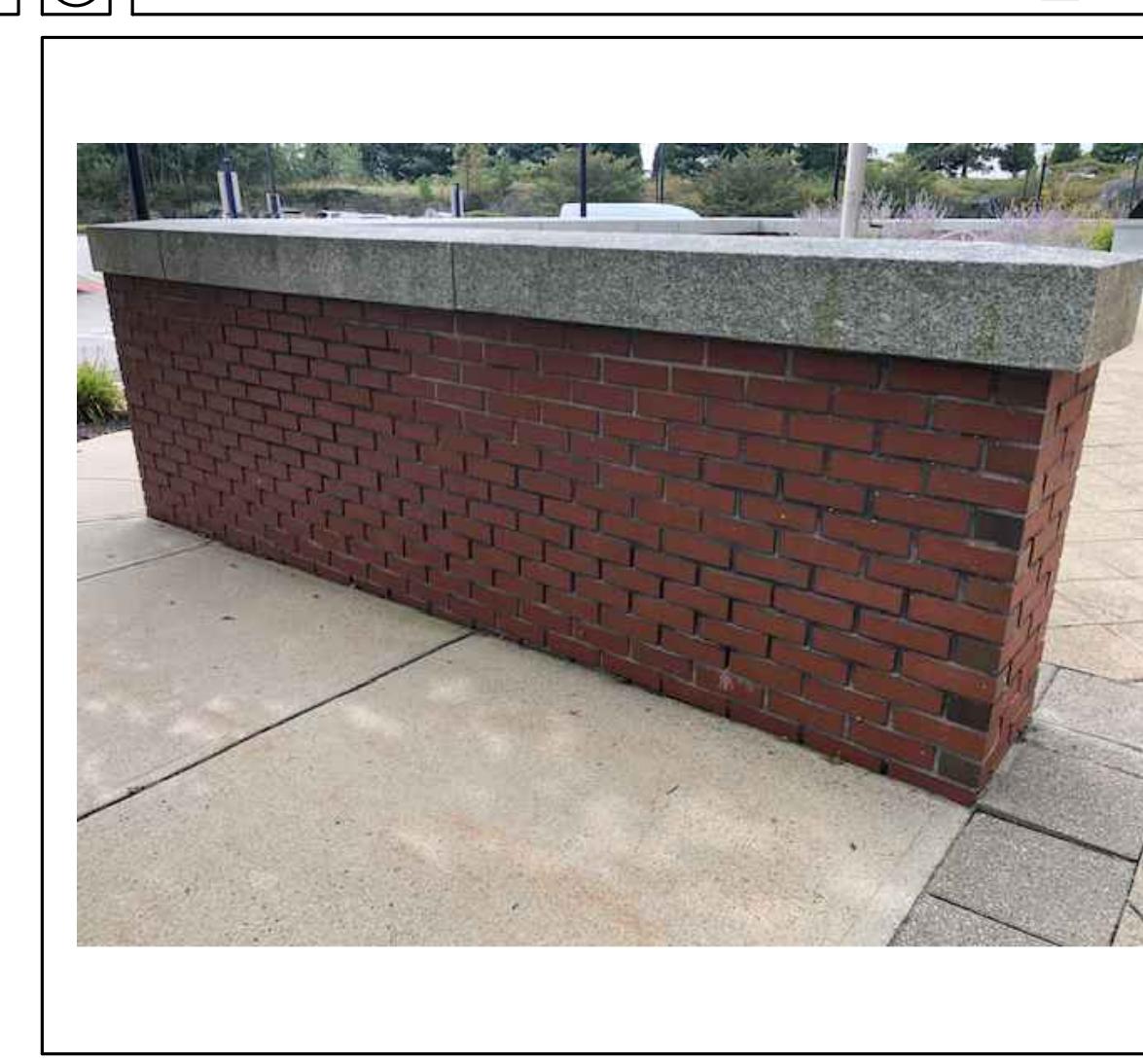
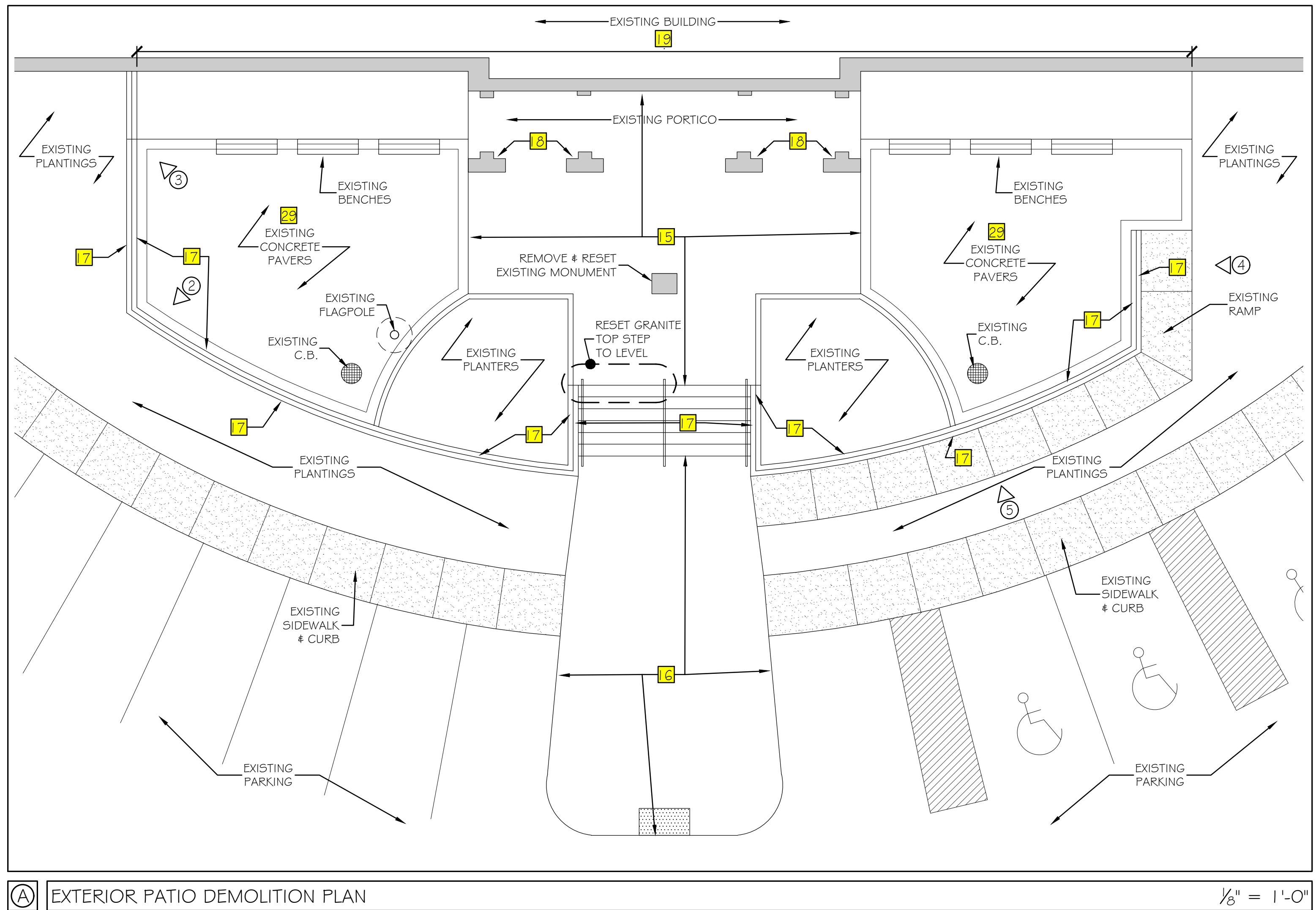


**EXTERIOR WINDOWS**

1. REMOVE ALL EXISTING PERIMETER SEALANT AT ALL EXTERIOR WINDOWS.
2. PREP FOR NEW WORK.
3. INSTALL NEW PERIMETER SEALANT AT ALL EXTERIOR WINDOWS.

**GENERAL NOTES**

1. PROTECT EXISTING PLANTINGS, GRANITE STEPS, MONUMENT, AND GRANITE WALL CAPS DURING MASONRY AND CONCRETE WORK.
2. REMOVE AND RE-INSTALL LIGHT FIXTURES, HANDRAILS, SIGNAGE, AND APPURTENANCES FROM MASONRY WALLS PRIOR TO COMMENCEMENT OF MASONRY WORK. OBTAIN RESIDENT ENGINEERS APPROVAL OF COMPLETION OF MASONRY WORK PRIOR TO REINSTALLATION.



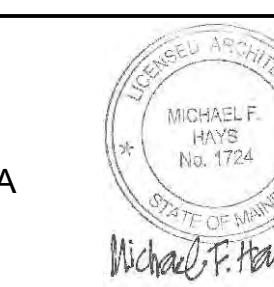
**DEMOLITION NOTES LEGEND**

- 1 REMOVE EXISTING COUNTERS AND SINK/FAUCET. REMOVE EXISTING DOOR AND DRAWER FRONTS AT ALL CABINETS. PREP CABINETS FOR NEW DOOR AND DRAWER FRONTS, NEW HINGES, AND NEW PULLS. REFRIGERATOR SHALL BE REMOVED AND RE-INSTALLED BY OWNER.
- 2 REMOVE EXISTING VCT FLOORING AND VB IN ITS ENTIRETY. SEE PLAN AND FINISH SCHEDULE FOR NEW WORK, INCLUDING VB.
- 3 REMOVE EXISTING GYPSUM BOARD FOR INSTALLATION OF NEW IN-WALL BLOCKING AND POWER/COMMUNICATIONS WIRING AT AUDIO-VISUAL EQUIPMENT & DEVICES. SEE PLAN AND SCHEDULES FOR PATCHING AND FINISHES. SEE ELECTRICAL AND AUDIO-VISUAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE BLOCKING LOCATION & SIZE w/ AV INSTALLER.
- 4 REMOVE EXISTING CARPET TO FACILITATE INSTALLATION OF NEW LOW-PROFILE "CONNECT-TRAC" POWER & NETWORK CABLE SYSTEM TO CENTER OF ROOM. SEE PLAN AND SCHEDULE FOR PATCHING AND FINISHES. SEE ELECTRICAL AND AUDIO-VISUAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 5 REMOVE EXISTING WORKSURFACE AND SUPPORTS IN THEIR ENTIRETY. PREP FOR NEW WORK - SEE PLAN. SEE ELECTRICAL FOR POWER AND NETWORK ADDITIONAL REQUIREMENTS.
- 6 REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, AND FRAMES. PATCH ADJACENT SURFACES AT REMOVALS TO MATCH EXISTING. PREP FOR NEW WORK.
- 7 REMOVE EXISTING DOOR AND FRAME. PREP FOR NEW WORK.
- 8 OWNER SHALL REMOVE EXISTING CUBICLE FURNITURE SYSTEM VIA SEPARATE CONTRACTOR PER PHASES. COORDINATE POWER AND NETWORK DISCONNECTS WITH OWNER.
- 9 REMOVE EXISTING CARPET. PREP FOR NEW WORK.
- 10 REMOVE EXISTING SUSPENDED CEILING. PREP FOR NEW SUSPENDED CEILING SYSTEM. SALVAGE SELECT EXISTING DEVICES TO BE REINSTALLED IN NEW WORK. SEE ELECTRICAL FOR LIGHTING, POWER, AND ADDITIONAL REQUIREMENTS.
- 11 REMOVE EXISTING PARTITION FOR NEW OPENING. PATCH ADJACENT SURFACES AT REMOVALS TO MATCH EXISTING. PREP FOR NEW WORK.
- 12 REMOVE EXISTING DOORS. SEE PLAN AND SCHEDULE FOR NEW WORK. REINSTALL DOORS.
- 13 CORE EXISTING FLOOR FOR NEW ELECTRICAL POWER/NETWORK BOX. SEE ELECTRICAL DRAWINGS. COORDINATE WITH LOCATION OF IN-SLAB PARTIAL RADIANT HEAT SYSTEM. PATCH CARPET FLOORING WITH MAINTENANCE STOCK PROVIDED BY OWNER.
- 14 REFER TO MECHANICAL/PLUMBING DRAWINGS FOR NEW ESCUTCHEON PLATE AT REPLACED URINAL. NEW PLATE SHALL BE SIZED TO EXTEND ONTO EXISTING TILE FINISH TO REMAIN. UTILIZE OWNER TILE MAINTENANCE STOCK AS REQUIRED FOR UNIFORM FINISH APPEARANCE.
- 15 REMOVE EXISTING GRANITE PAVERS, BASE MATERIAL, AND BITUMINOUS PAVEMENT. SALVAGE GRANITE PAVERS FOR OWNER ON PALLETS WRAPPED IN PROTECTIVE COVER. OWNER SHALL TRANSPORT PALETS TO OWNER'S STORAGE LOCATION. PREP AREA FOR NEW BROOMED FINISHED CONCRETE SLAB PER SPECIAL PROVISION GO8.
- 16 REMOVE EXISTING CONCRETE PAVERS, TACTILE STRIP, BASE MATERIAL, AND BITUMINOUS PAVEMENT. SALVAGE PAVERS IN GOOD CONDITION TO BE UTILIZED FOR REPLACEMENT OF BROKEN PAVERS AT UPPER PATIO LEVEL. PREP AREA FOR NEW BROOMED FINISHED CONCRETE SLAB PER SPECIAL PROVISION GO8.
- 17 REPAIR EXISTING MASONRY JOINTS AT ENTIRE PATIO WALL PERIMETER. ROUT AND REPOINT; TOOL TO MATCH EXISTING. MATCH EXISTING JOINT COLOR.
- 18 REPAIR EXISTING MASONRY JOINTS AT LOWER 48" OF ALL FOUR (4) BUILDING PIERS. ROUT AND REPOINT; TOOL TO MATCH EXISTING BUILDING. MATCH EXISTING JOINT COLOR. SEE SHEET A-4 FOR ADDITIONAL PHOTO DETAILS.
- 19 REPAIR THREE HUNDRED (300) SQUARE FEET OF MASONRY JOINTS AT FAÇADE OF BUILDING. REPAIR AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, SECOND FLOOR FAÇADE AT PATIO LEVEL, THIRD FLOOR BALCONY LEVEL, THIRD FLOOR WALLS ADJACENT TO AND ABOVE BALCONY. ROUT AND REPOINT; TOOL TO MATCH EXISTING BUILDING. MATCH EXISTING JOINT COLOR. LOCATIONS OF JOINT REPAIRS SHALL BE AS DIRECTED BY THE OWNER'S RESIDENT ENGINEER. SEE SHEET A-4 FOR ADDITIONAL PHOTO DETAILS.
- 20 REPLACE OR TRIM / REATTACH DETACHED VINYL COVE BASE AT VARIOUS LOCATIONS THROUGHOUT FIRST FLOOR AREAS. TO BE FIELD VERIFIED WITH ARCHITECT.
- 21 REMOVE EXISTING PARTITION FOR MECHANICAL WORK. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 22 REMOVE EXISTING CARPET TILE & WALL BASE IN ITS ENTIRETY. PREP SUBSTRATE FOR NEW FINISH.
- 23 REMOVE EXISTING CABINETS AND COUNTERTOPS IN THEIR ENTIRETY. PATCH ADJACENT SURFACES TO REMAIN; MATCH EXISTING.
- 24 REMOVE EXISTING KICKPLATE. PREP DOOR FOR NEW HARDWARE.
- 25 REMOVE EXISTING STRIKE PLATE. PREP DOOR FOR NEW STRIKE PLATE.
- 26 REMOVE EXISTING DOOR CLOSER. PREP FOR NEW DOOR OPERATOR.
- 27 REMOVE EXISTING VCT FLOORING & WALL BASE. PREP FOR NEW WORK.
- 28 REMOVE & REPLACE FLOORING & VB AT FILL AREA OF DEPRESSED FLOOR AT COLUMN AREA.
- 29 ALTERNATE: REMOVE EXISTING CONCRETE PAVERS IN THEIR ENTIRETY. PREP AREA FOR NEW CONCRETE SLAB.

Scale: 1/8"=1'-0"

Designed by:

Michael F. Hays, RA



CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

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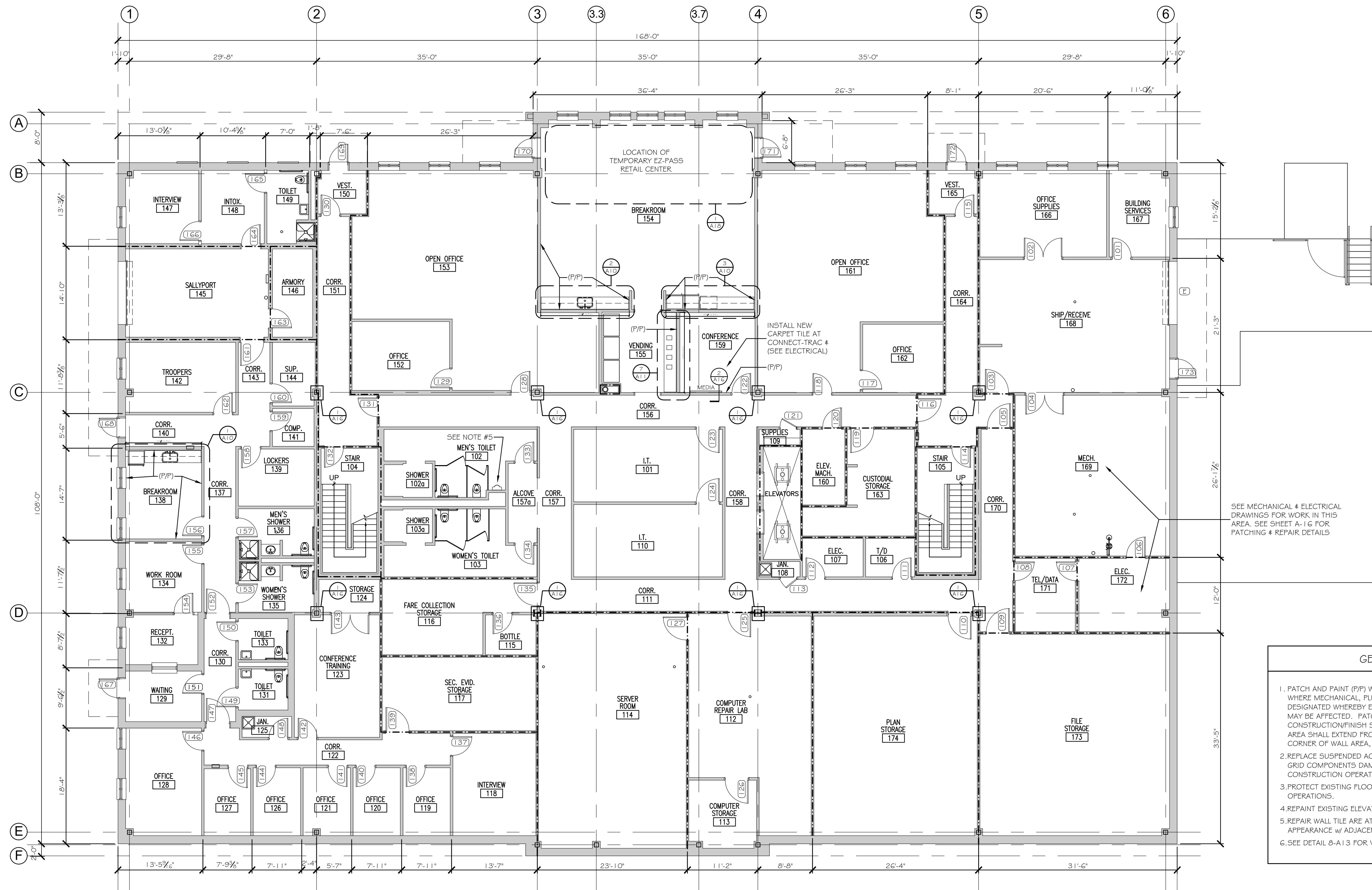
THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
EXISTING/DEMOLITION  
PATIO PLAN

SHEET NUMBER: AD-4

CONTRACT: 2023.10

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Scale: 1/8"=1'-0"

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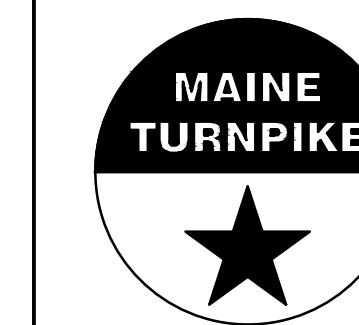
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## THE GOLD STAR MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
PROPOSED FIRST FLOOR PLAN

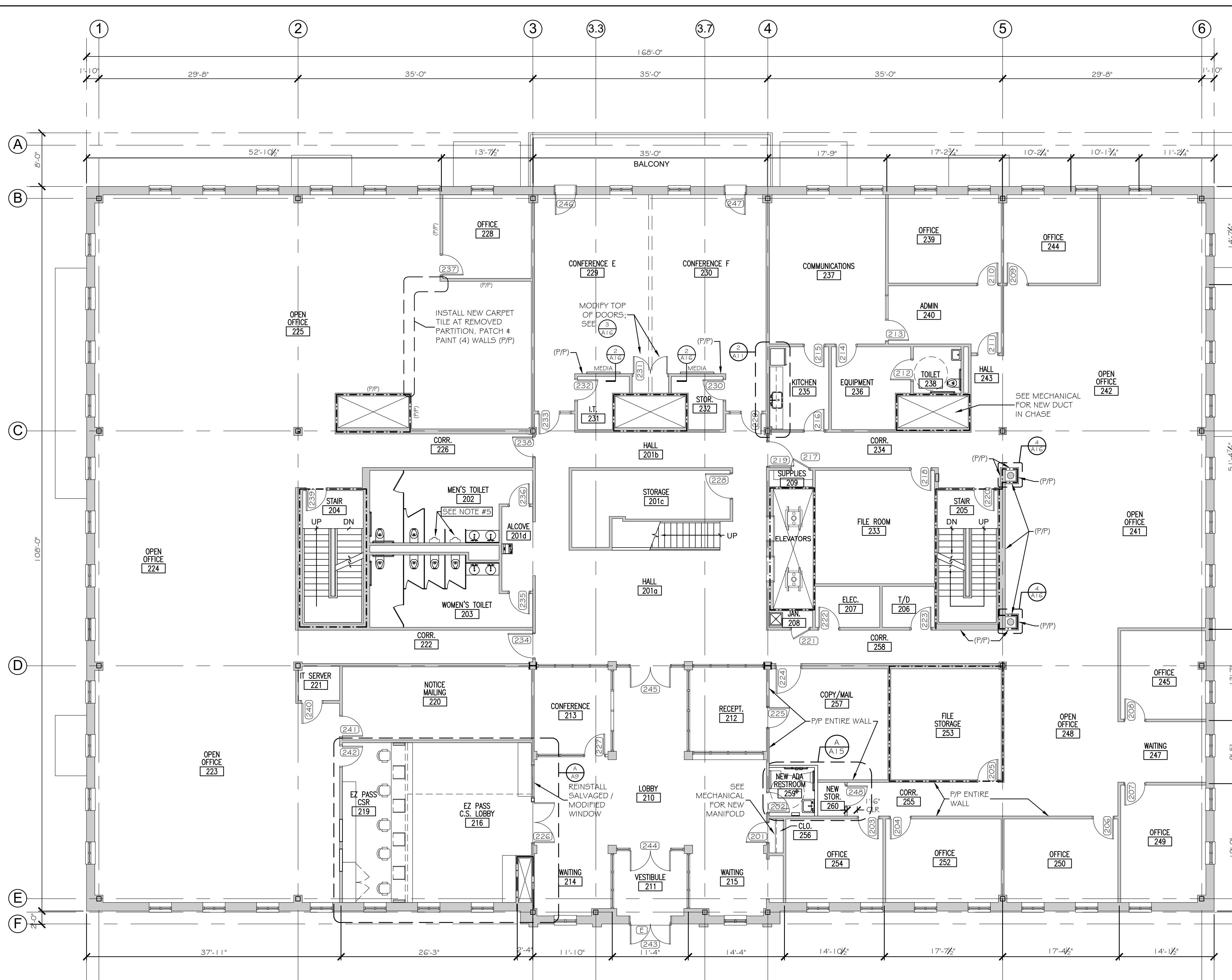
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CONTRACT: 2023.10

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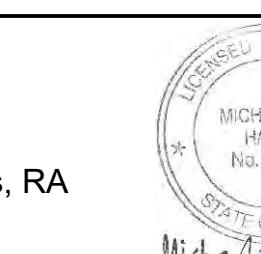


## PLAN



Scale: 1/8"=1'-0"

Designed by:



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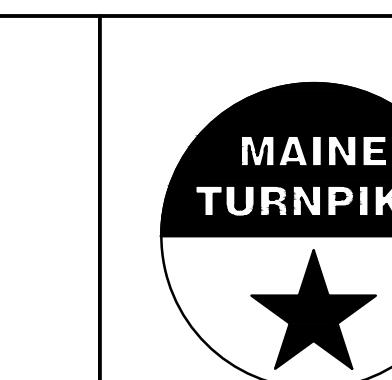
## 1 ADDENDUM 1

2	ADDENDUM 2
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## 0/24 CONSULTANT PROJECT MANAGER:

By Date





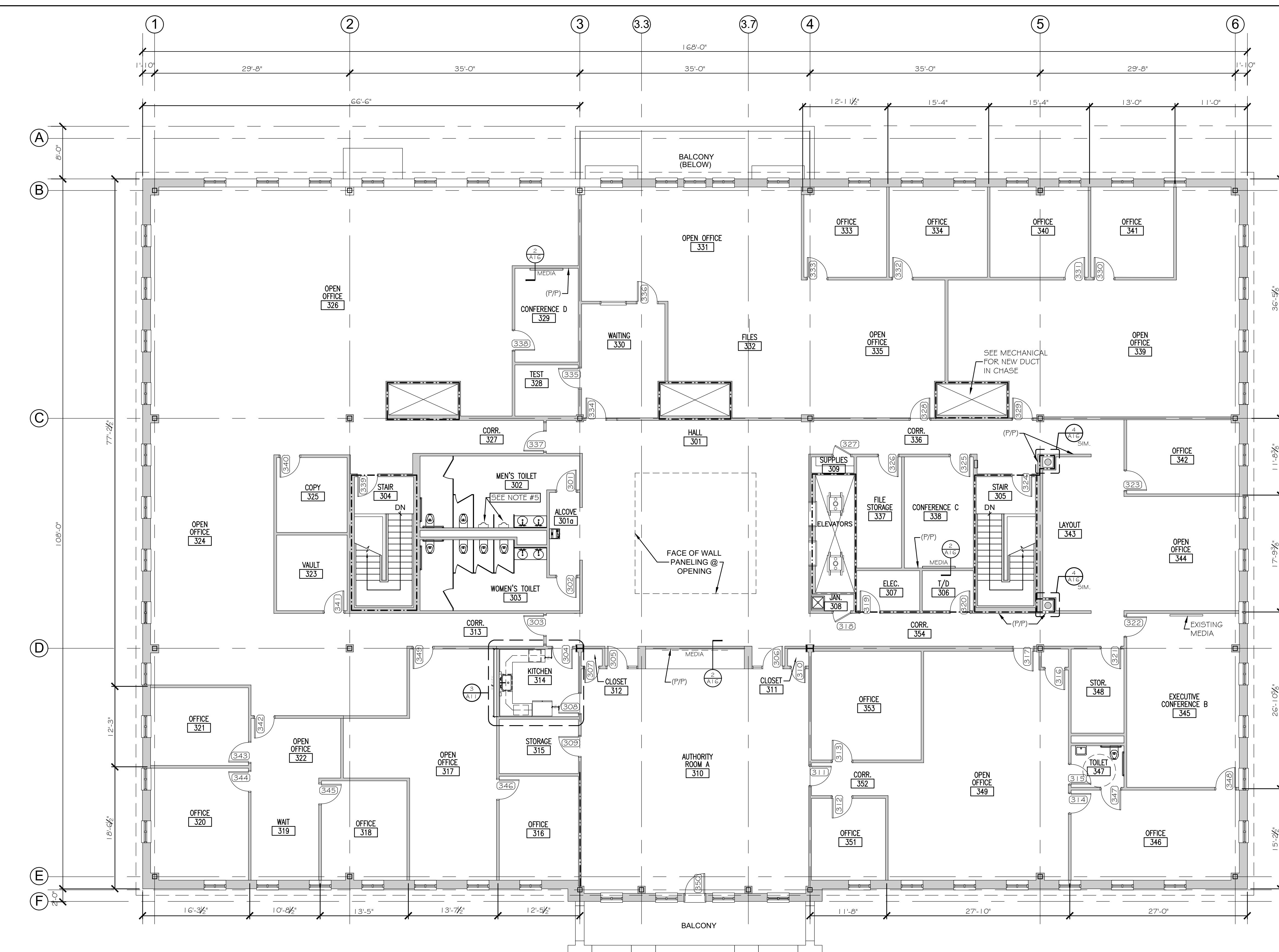
# THE GOLD STAR MEMORIAL HIGHWAY

# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT PROPOSED SECOND FLOOR PLAN

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SHEET NUMBER: A-2

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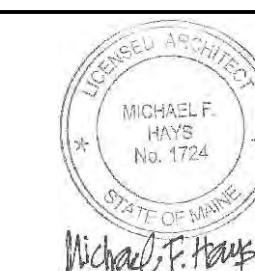
#### GENERAL NOTES

- PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
- REPLACE SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID COMPONENTS DAMAGED OR SOILED DURING CONSTRUCTION OPERATIONS. MATCH EXISTING.
- PROTECT EXISTING FLOORING FINISHES DURING CONSTRUCTION OPERATIONS.
- REPAINT EXISTING ELEVATOR OPENING PAINTED FRAMES.
- REPAIR WALL TILE AT NEW URINAL AS REQUIRED FOR UNIFORM APPEARANCE w/ ADJACENT SURFACES.
- SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
- REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

Scale: 1/8"=1'-0"

Designed by:

Michael F. Hays, RA



CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No.	Revision	By	Date
1	ADDENDUM 1	MFH	3/19/24
2	ADDENDUM 2	MFH	3/19/24

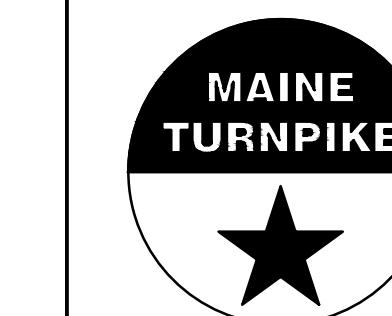
Designed By: MFH Date: 02/26/24

Drawn By: MGK Date: 02/26/24

In Charge of:

**GRANT HAYS  
ASSOCIATES**

ARCHITECTURE & INTERIOR DESIGN  
P.O. BOX 6179 FALMOUTH MAINE 04105  
207.871.5900 www.granthays.com



**THE GOLD STAR  
MEMORIAL HIGHWAY**

MTA PROJECT MANAGER: JACQUELINE HANSEN

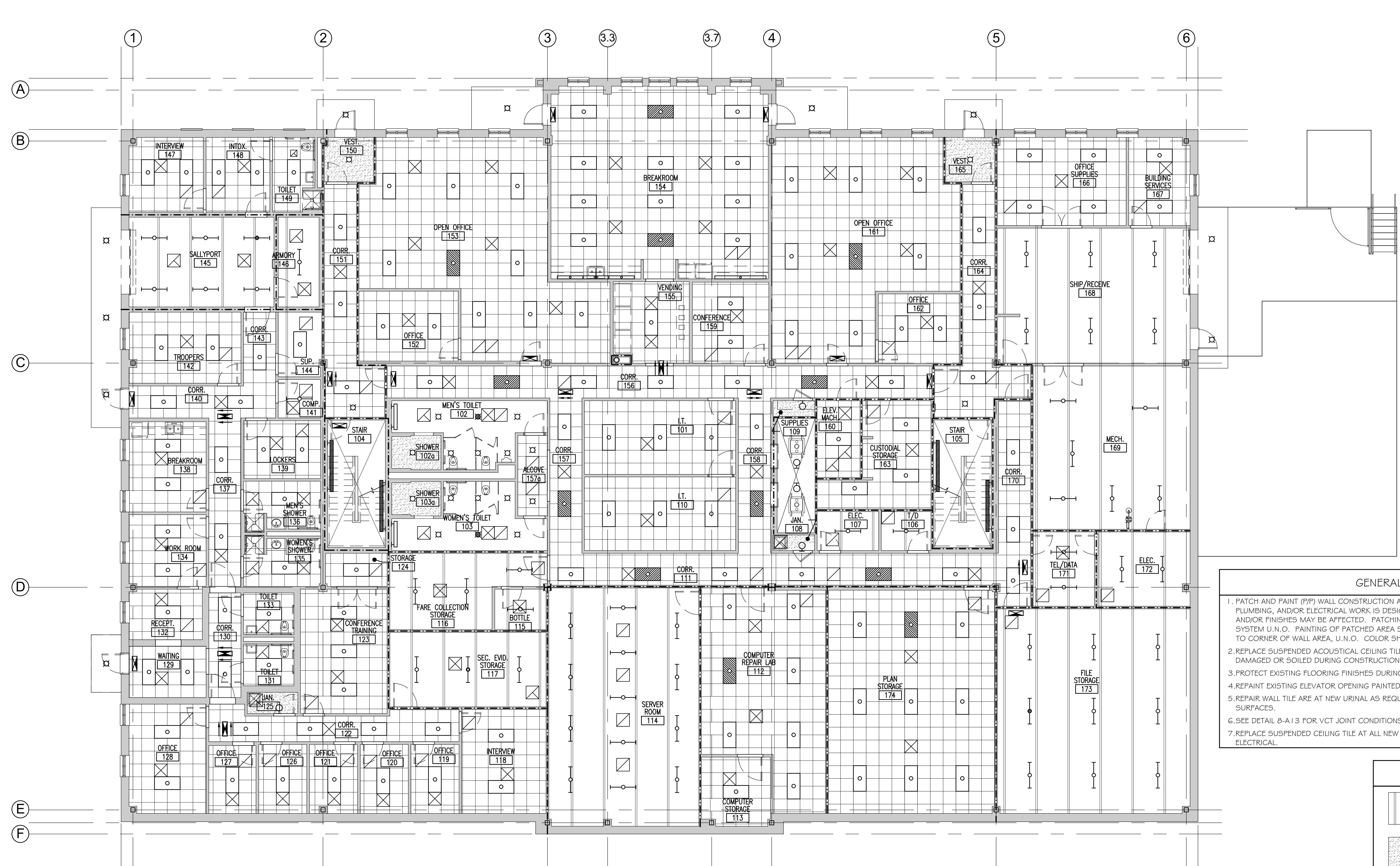
**MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
PROPOSED THIRD FLOOR PLAN**

SHEET NUMBER: A-3

CONTRACT: 2023.10

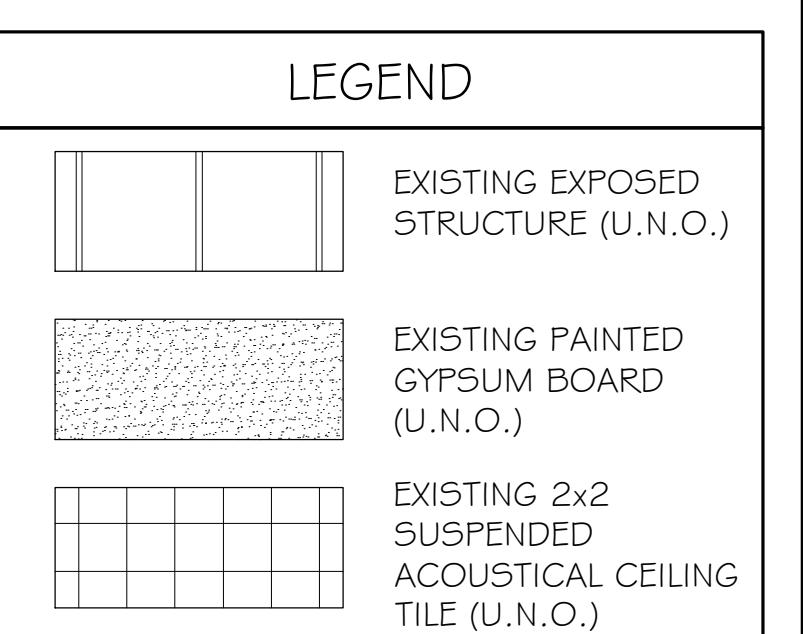
15 OF 70





**GENERAL NOTES**

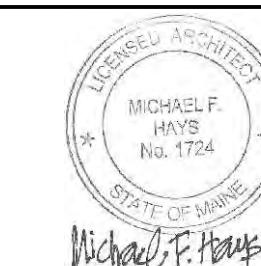
- PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
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- REPAIN EXISTING ELEVATOR OPENING PAINTED FRAMES.
- REPAIR WALL TILE ARE AT NEW URINAL AS REQUIRED FOR UNIFORM APPEARANCE w/ ADJACENT SURFACES.
- SEE DETAIL 8-A 13 FOR VCT JOINT CONDITIONS.
- REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.



Scale: 1/8"=1'-0"

Designed by:

Michael F. Hays, RA



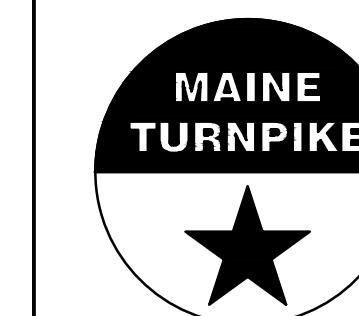
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No.	Revision	By	Date
1	ADDENDUM 1	MFH	3/19/24
2	ADDENDUM 2	MFH	3/19/24

Designed	By	Date	Checked	By	Date
	MFH	02/26/24		MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		

GRANT HAYS  
ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN  
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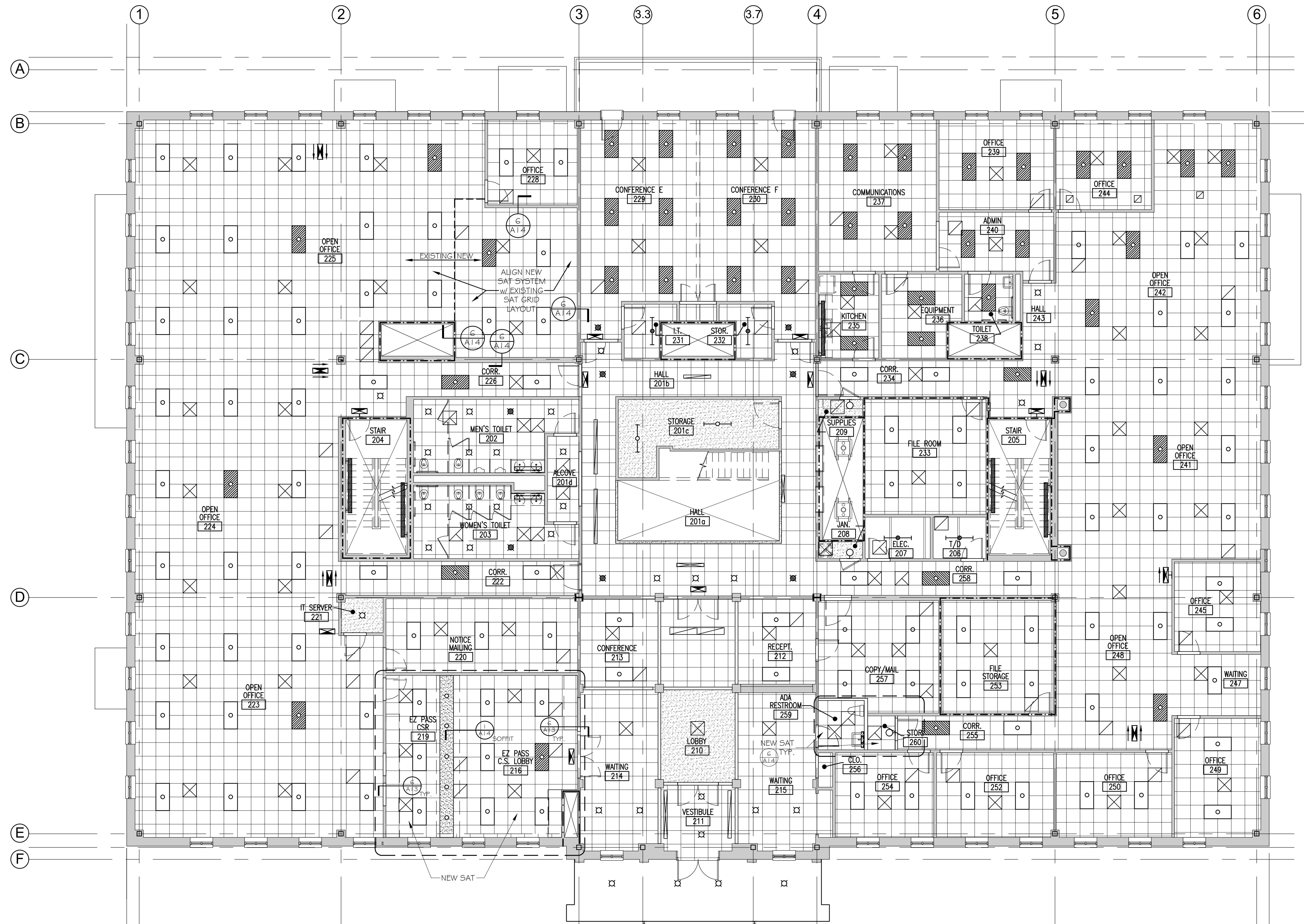
THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
FIRST FLOOR  
REFLECTED CEILING PLAN

SHEET NUMBER: A-5

CONTRACT: 2023.10

17 OF 70



#### GENERAL NOTES

- PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
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- SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
- REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

#### LEGEND

EXISTING EXPOSED STRUCTURE (U.N.O.)
EXISTING PAINTED GYPSUM BOARD (U.N.O.)
EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE (U.N.O.)

Scale: 1/8"=1'-0"

Designed by:

Michael F. Hays, RA



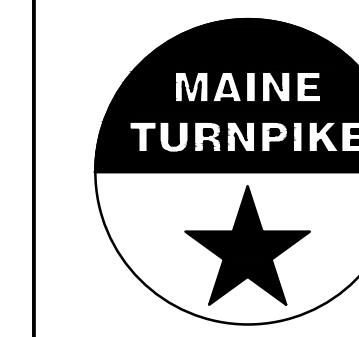
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No.	Revision	By	Date
1	ADDENDUM 1	MFH	3/19/24
2	ADDENDUM 2	MFH	3/19/24

Designed	By	Date	Checked	By	Date
	MFH	02/26/24		MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		

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ASSOCIATES

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THE GOLD STAR  
MEMORIAL HIGHWAY

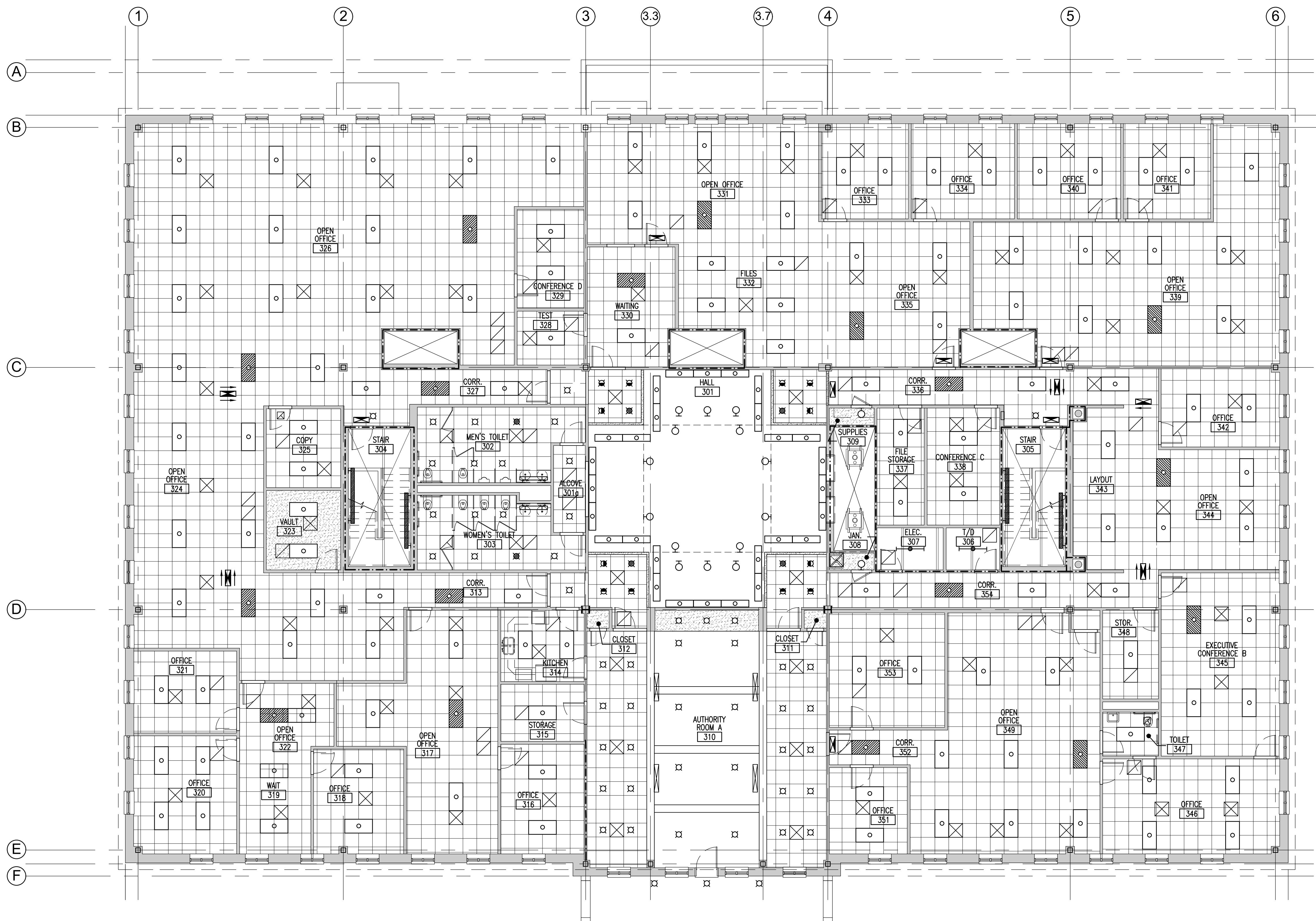
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
SECOND FLOOR  
REFLECTED CEILING PLAN

SHEET NUMBER: A-6

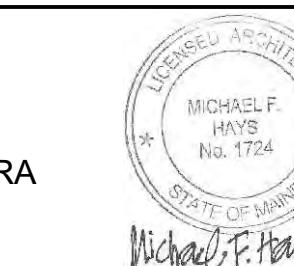
CONTRACT: 2023.10

18 OF 70



Scale: 1/8"=1' 0"

Designed by:



Michael F. Hays, RA

No.	
1	ADDENDUM 1
2	ADDENDUM 2

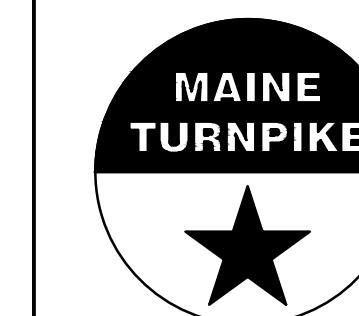
te  
0/24  
N24 CONSULTANT PROJECT MANAGER: TIM COTE, P.E.

10/24 CONSULTANT PROJECT MANAGER: TIM COTE, P.E.

	By	Date	
Designed	MEH	22/03/24	Checked

Designed	MFH	02/26/24	Checked
Drawn	MGK	02/26/24	In Charge of

ARCHITECTURE & INTERIOR DESIGN  
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# THE GOLD STAR MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
THIRD FLOOR  
REFLECTED CEILING PLAN

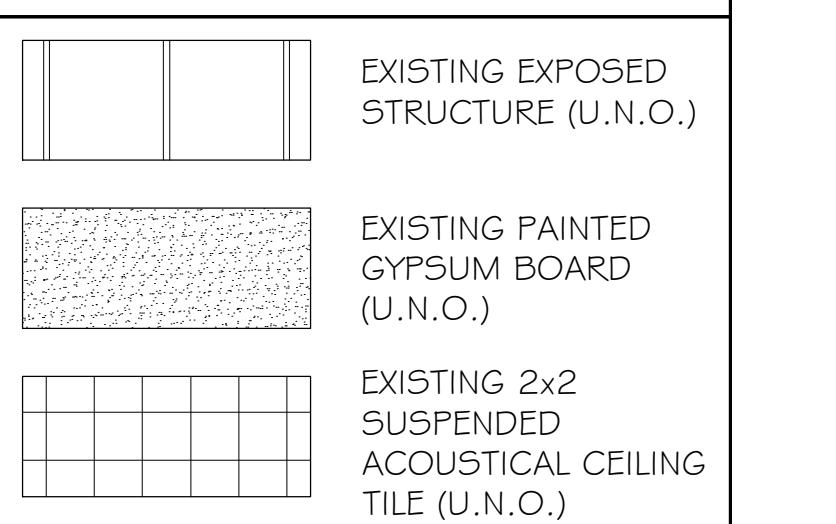
SHEET NUMBER: A 3

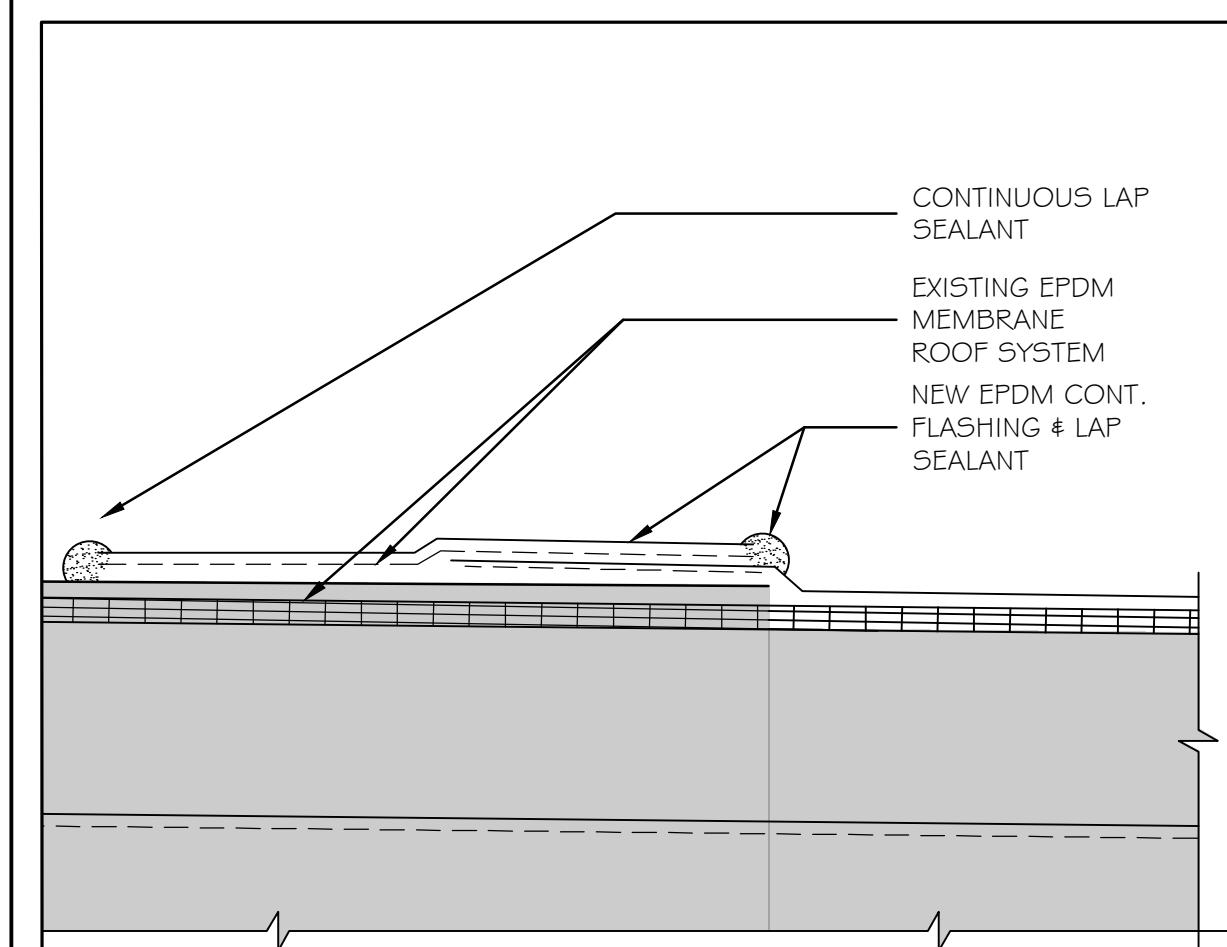
19 OF 70

## GENERAL NOTES

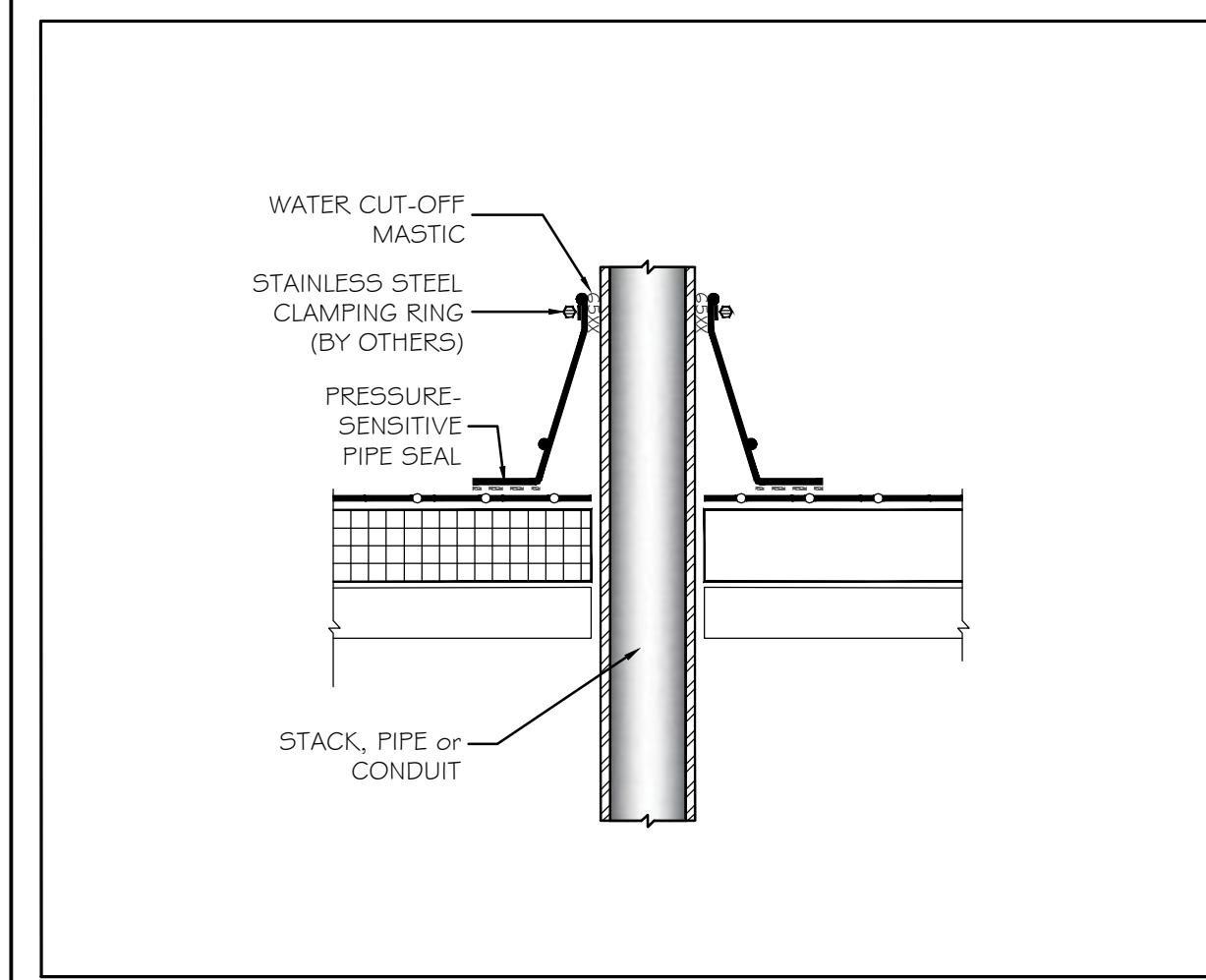
1. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
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4. REPAINT EXISTING ELEVATOR OPENING PAINTED FRAMES.
5. REPAIR WALL TILE ARE AT NEW URINAL AS REQUIRED FOR UNIFORM APPEARANCE w/ ADJACENT SURFACES.
6. SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
7. REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL

## LEGEND

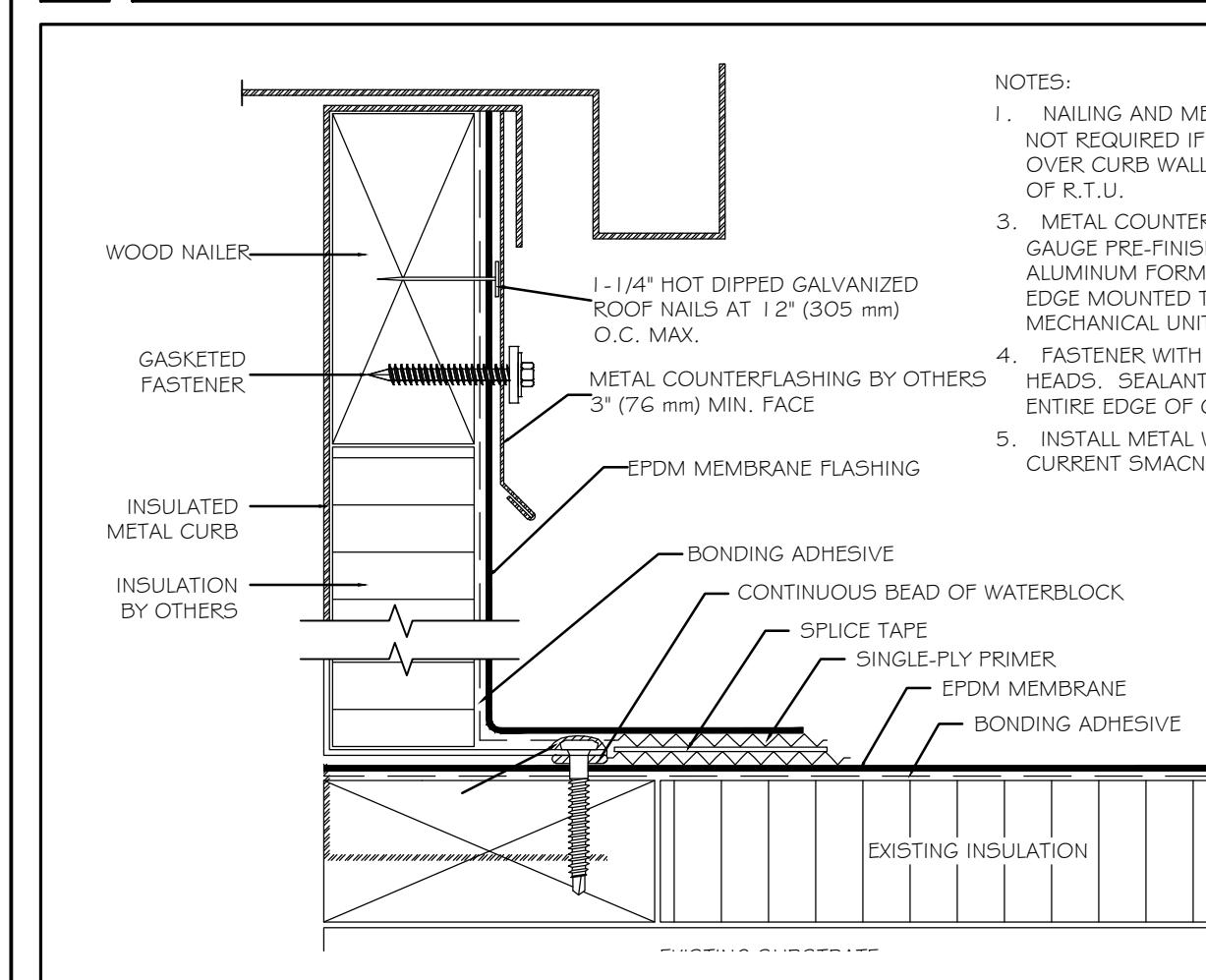




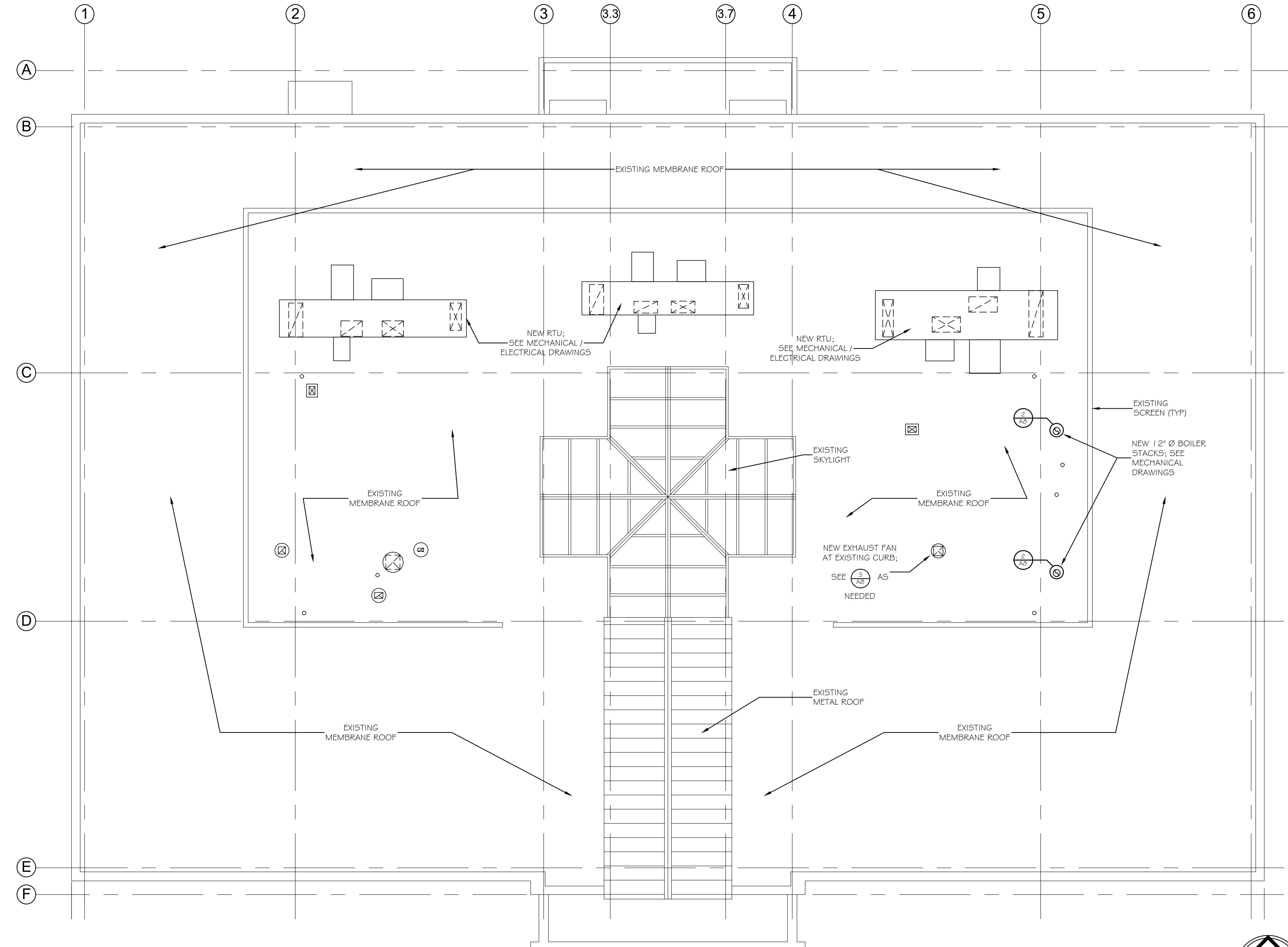
① EPDM TRANSITION DETAIL 3" = 1'-0"



② PENETRATION SEAL 3" = 1'-0"



③ CURB DETAIL N.T.S.

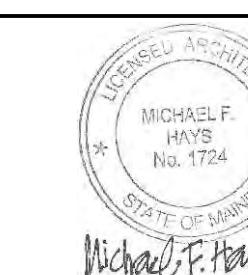


PROPOSED ROOF PLAN  
SCALE: 1/2" = 1'-0"

Scale: AS NOTED

Designed by:

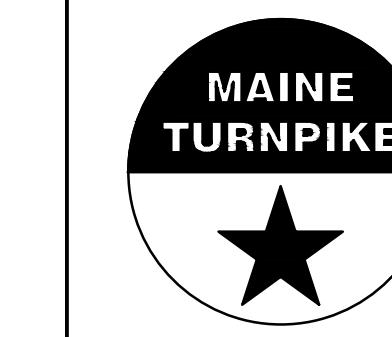
Michael F. Hays, RA



CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No.	Revision	By	Date

**GRANT HAYS  
ASSOCIATES**  
ARCHITECTURE & INTERIOR DESIGN  
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**THE GOLD STAR  
MEMORIAL HIGHWAY**

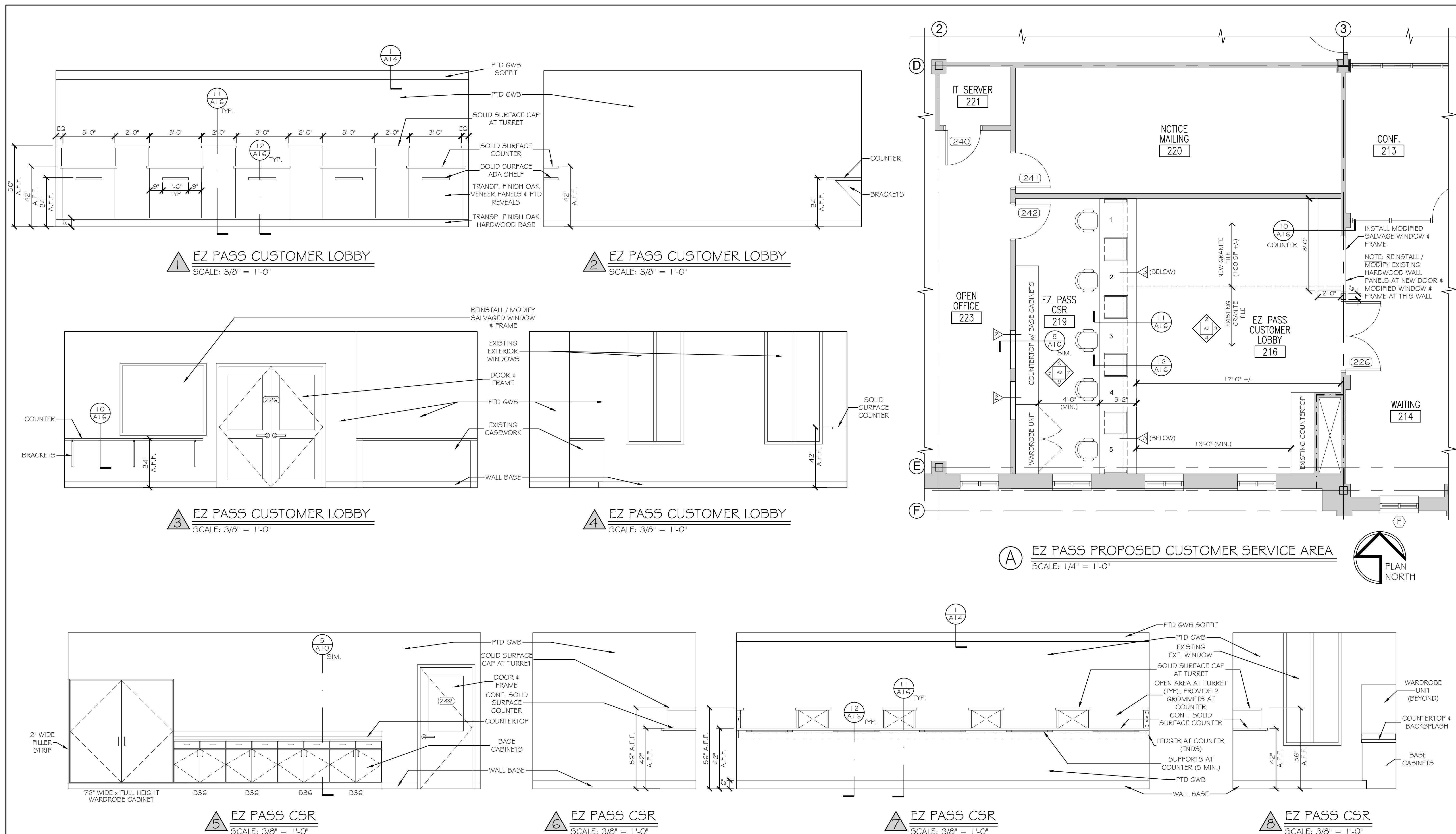
MTA PROJECT MANAGER: JACQUELINE HANSEN

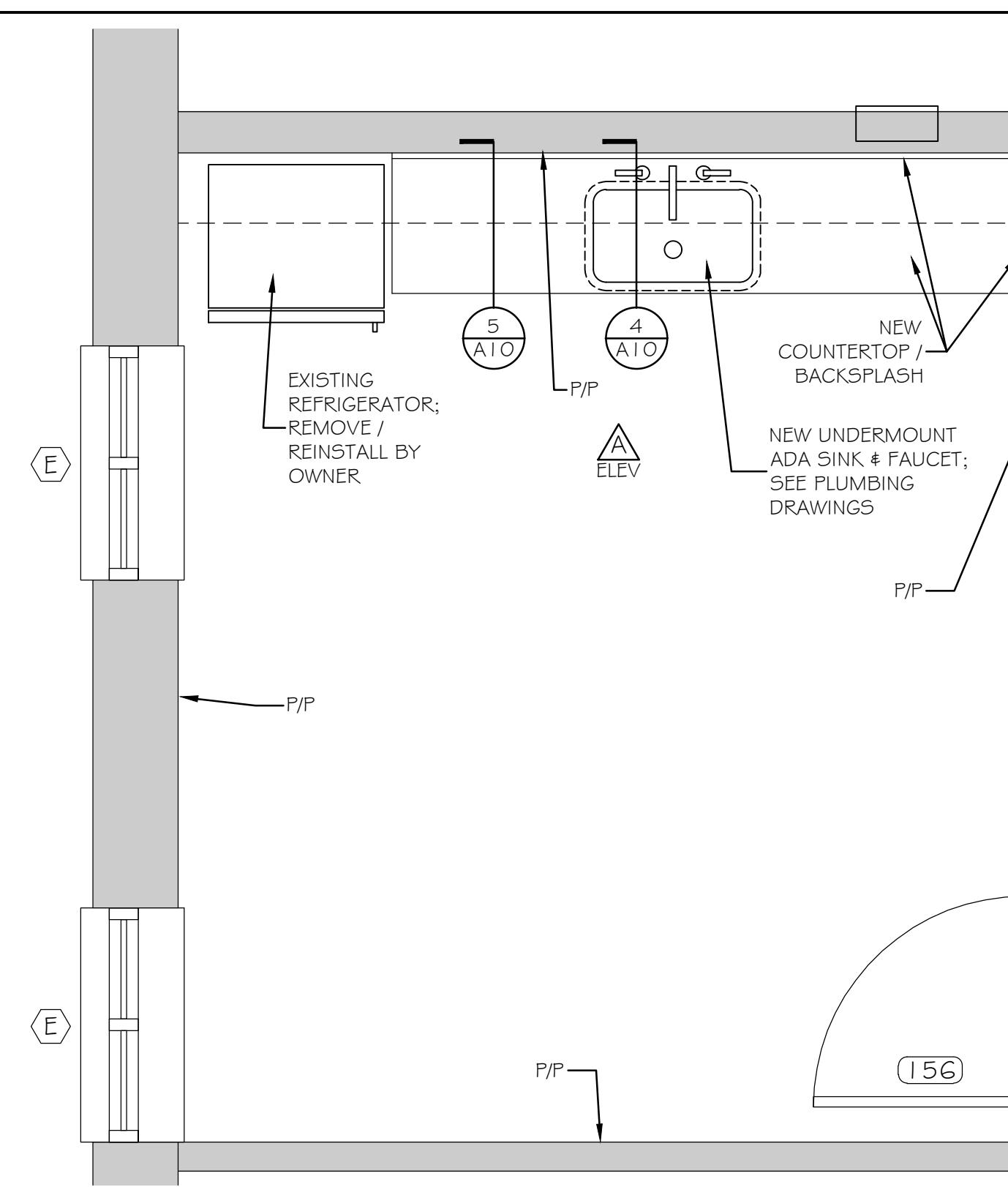
**MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
PROPOSED ROOF PLAN**

SHEET NUMBER: A-8

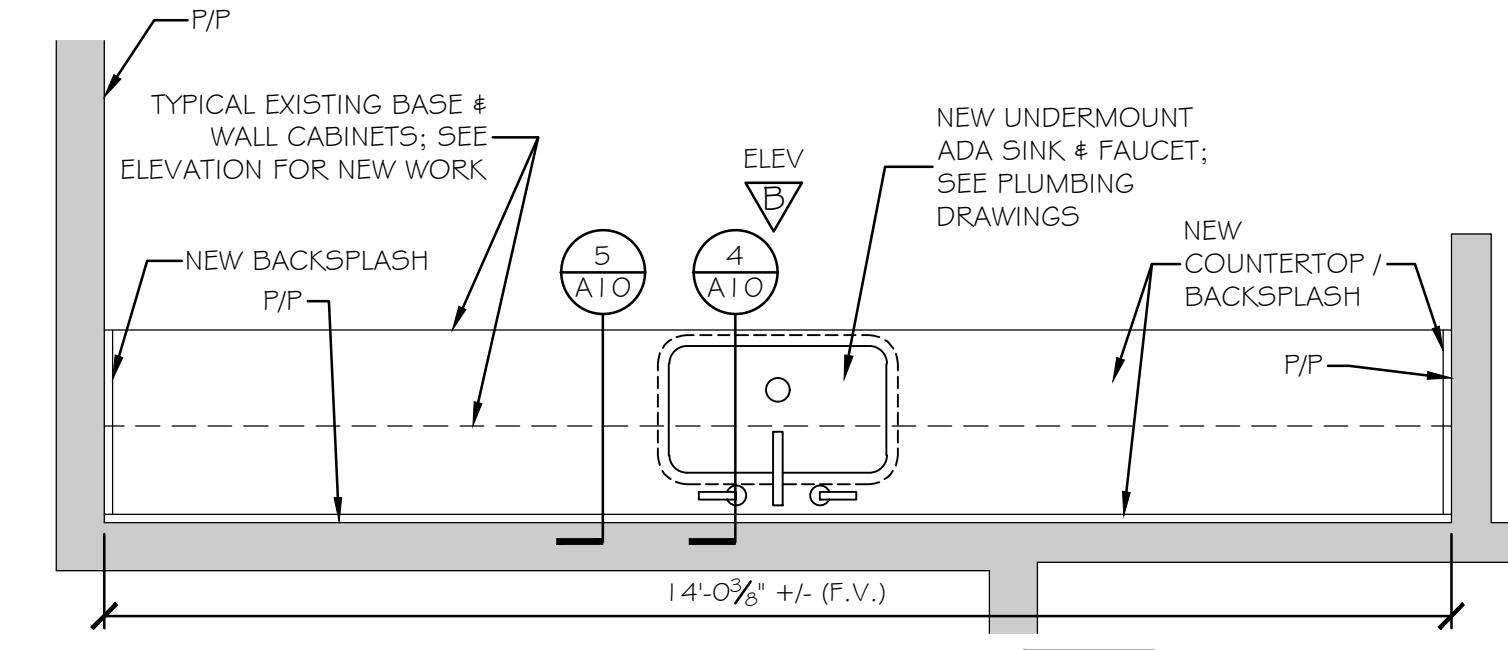


20 OF 70

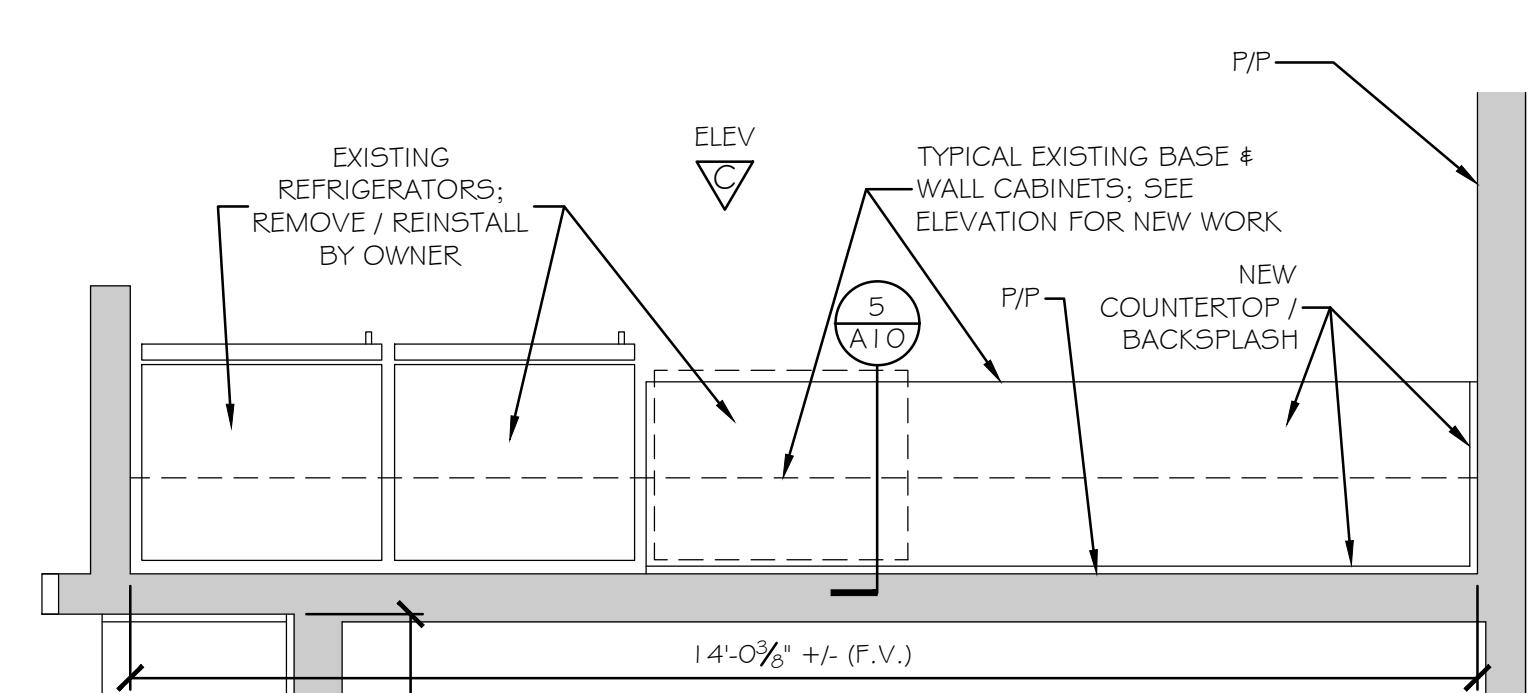




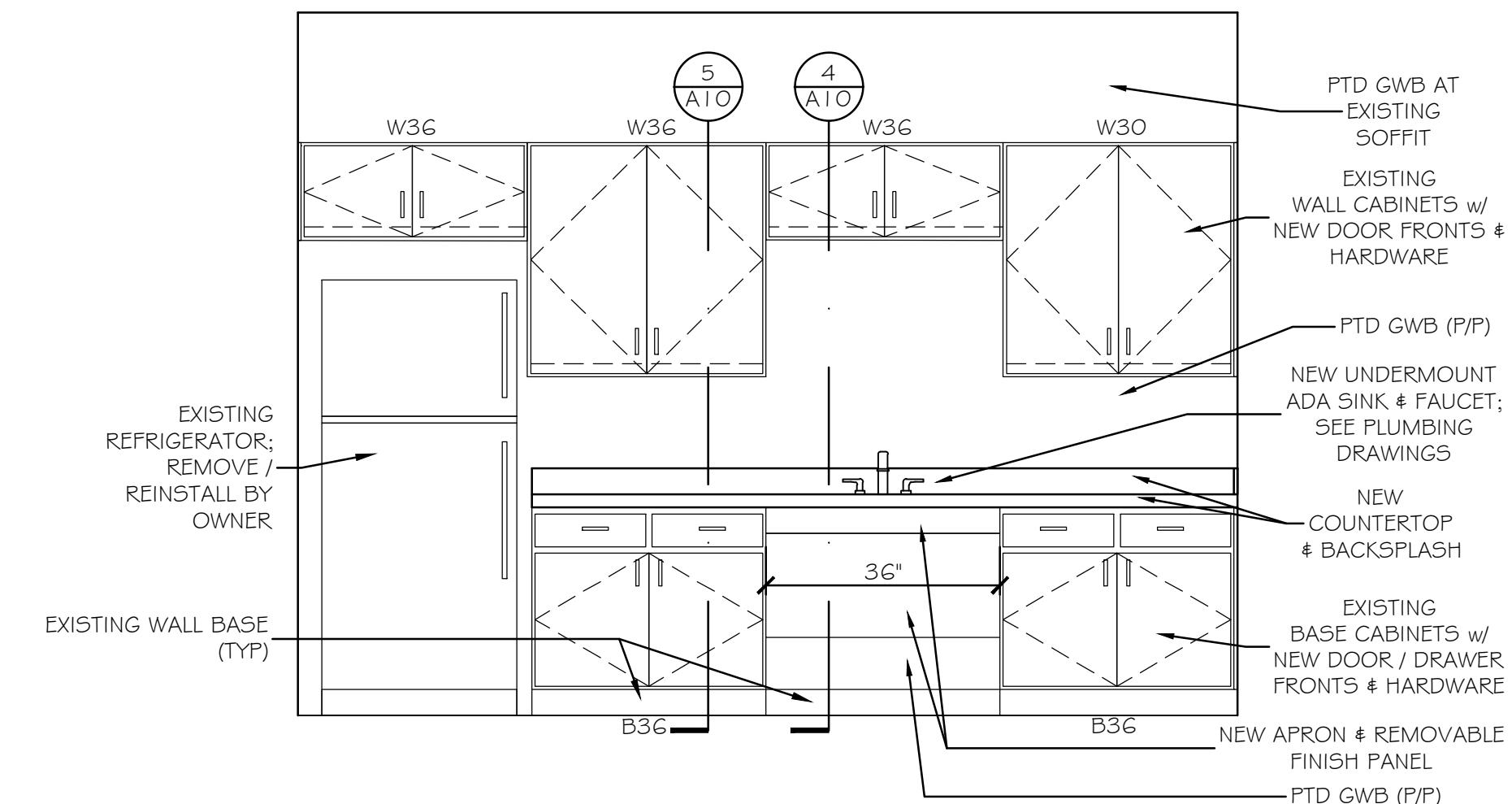
**1** FIRST FLOOR BREAKROOM 138  
SCALE: 1/2" = 1'-0"



2 FIRST FLOOR BREAKROOM 154 RIGHT  
SCALE: 1/2" = 1'-0"



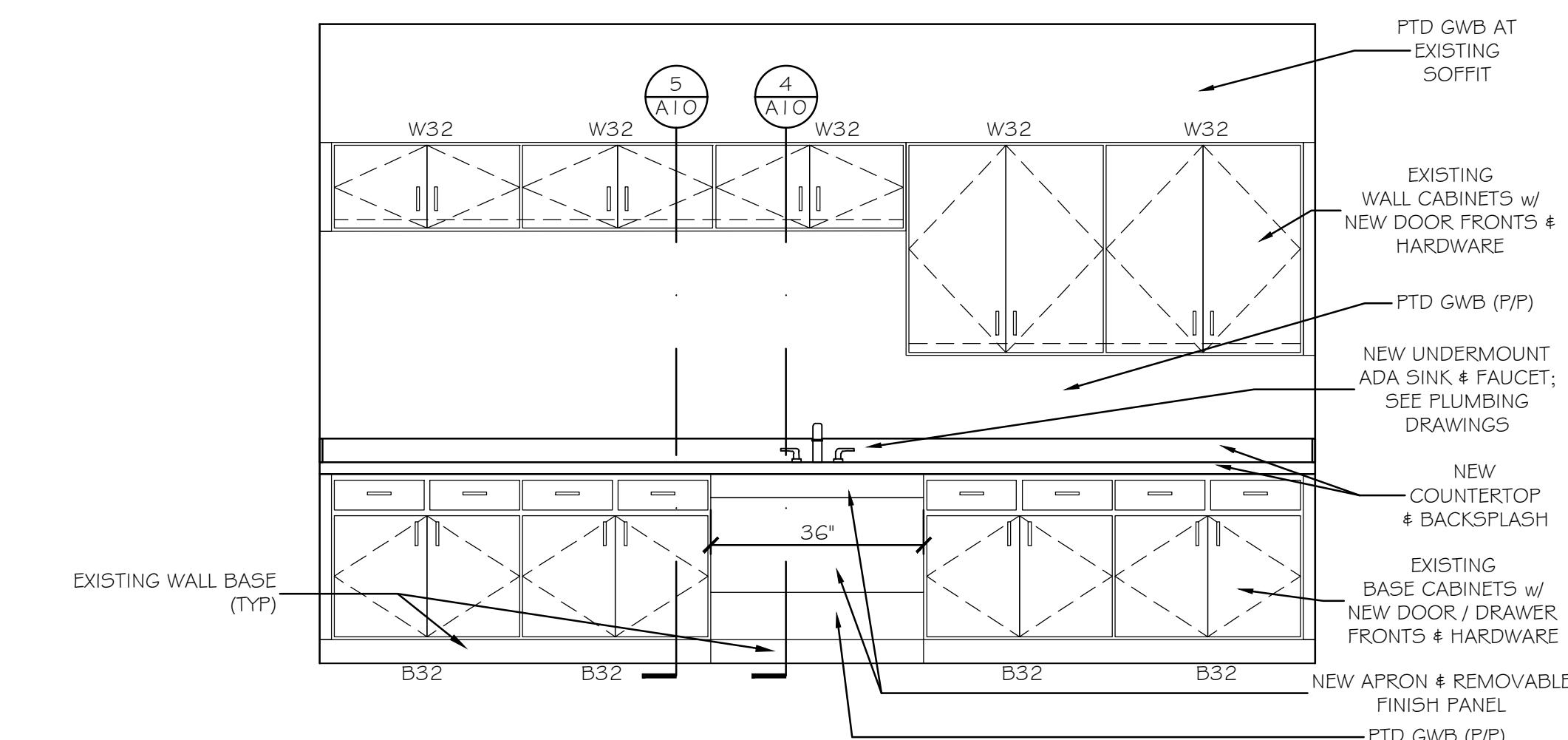
3 FIRST FLOOR BREAKROOM 154 LEFT  
SCALE 1/2" = 1'-0"



A FIRST FLOOR BREAKROOM 138

---

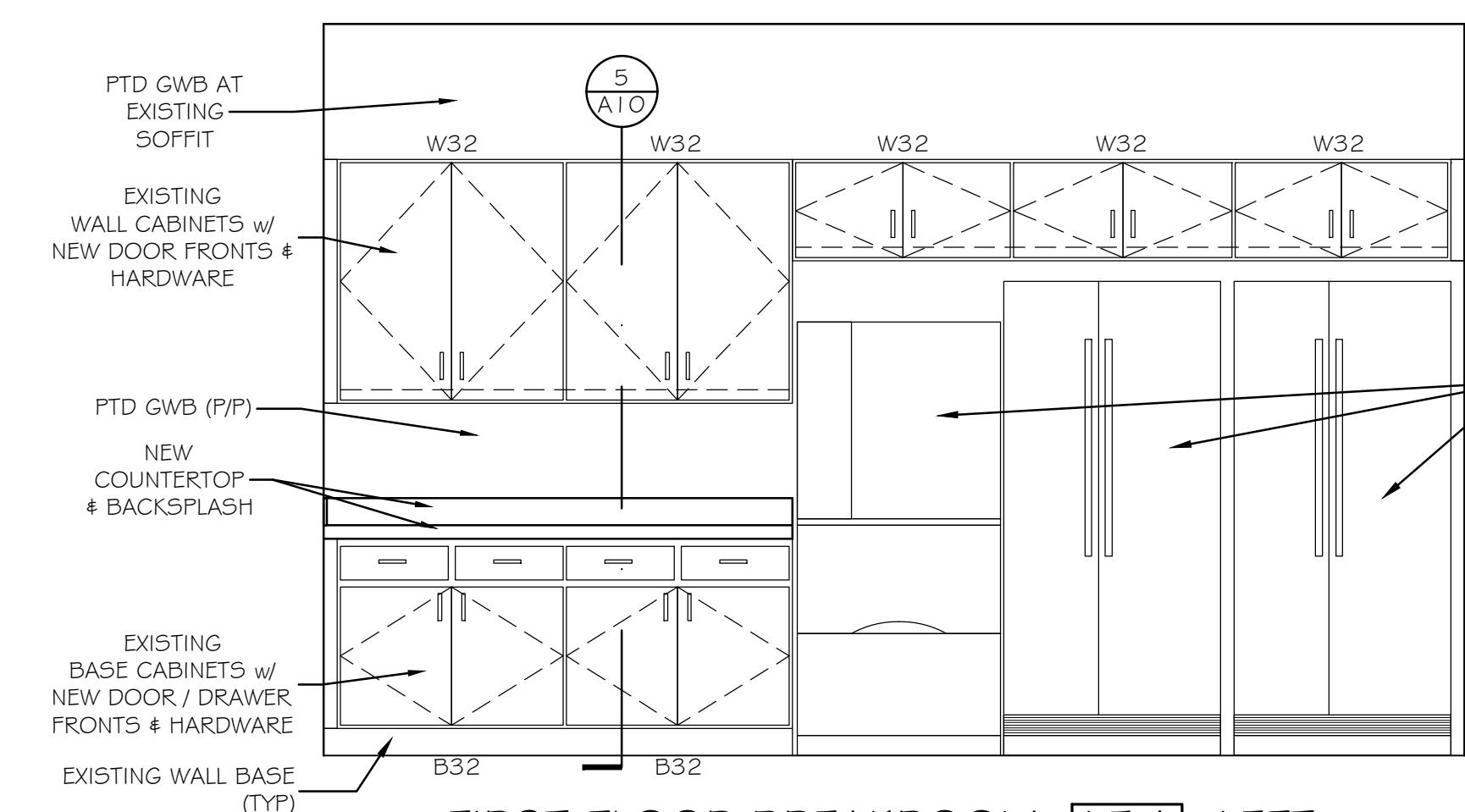
SCALE: 1/2" = 1'-0"



**FIRST FLOOR BREAKROOM 154 RIGHT**

---

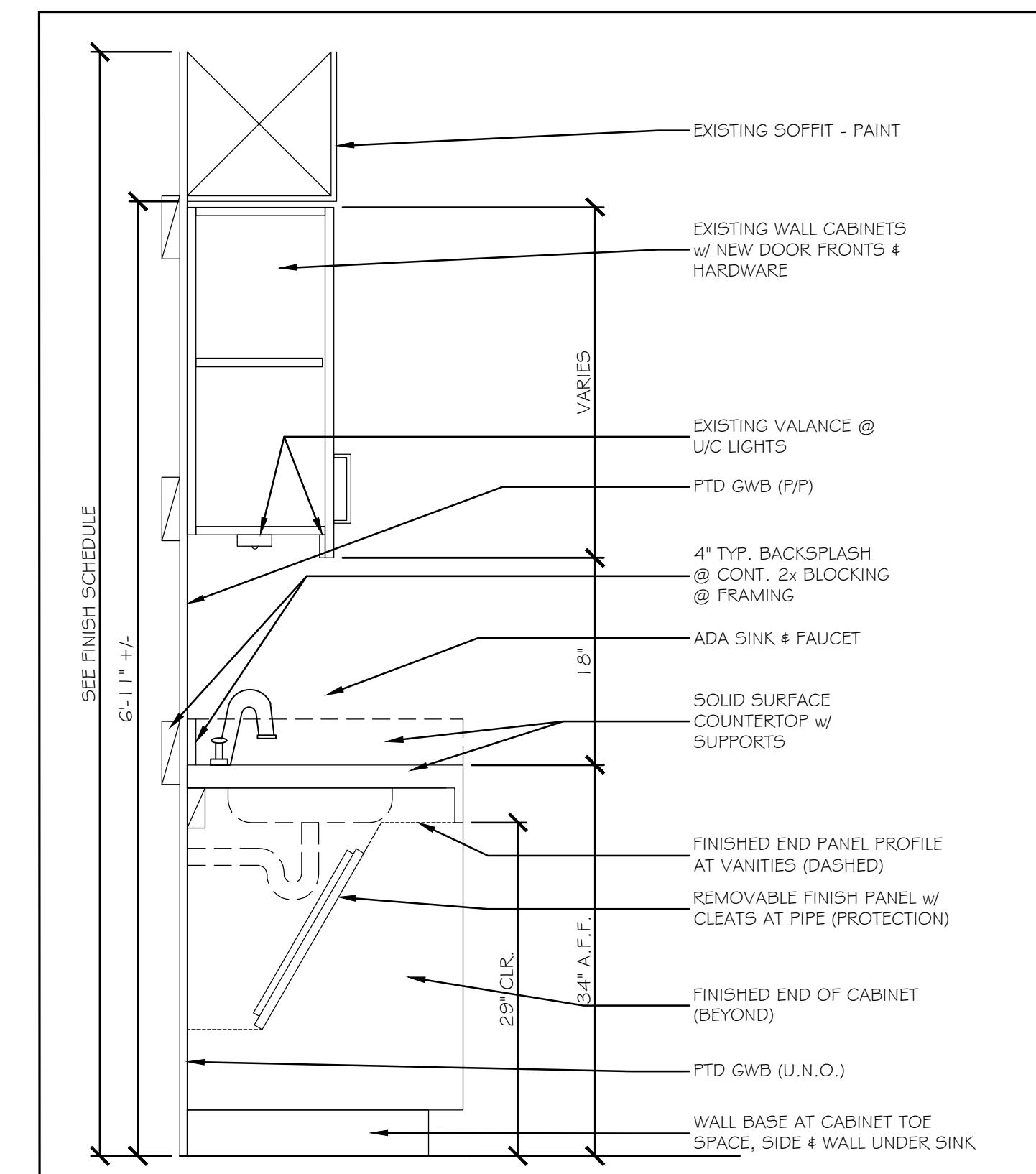
SCALE: 1/2" = 1'-0"



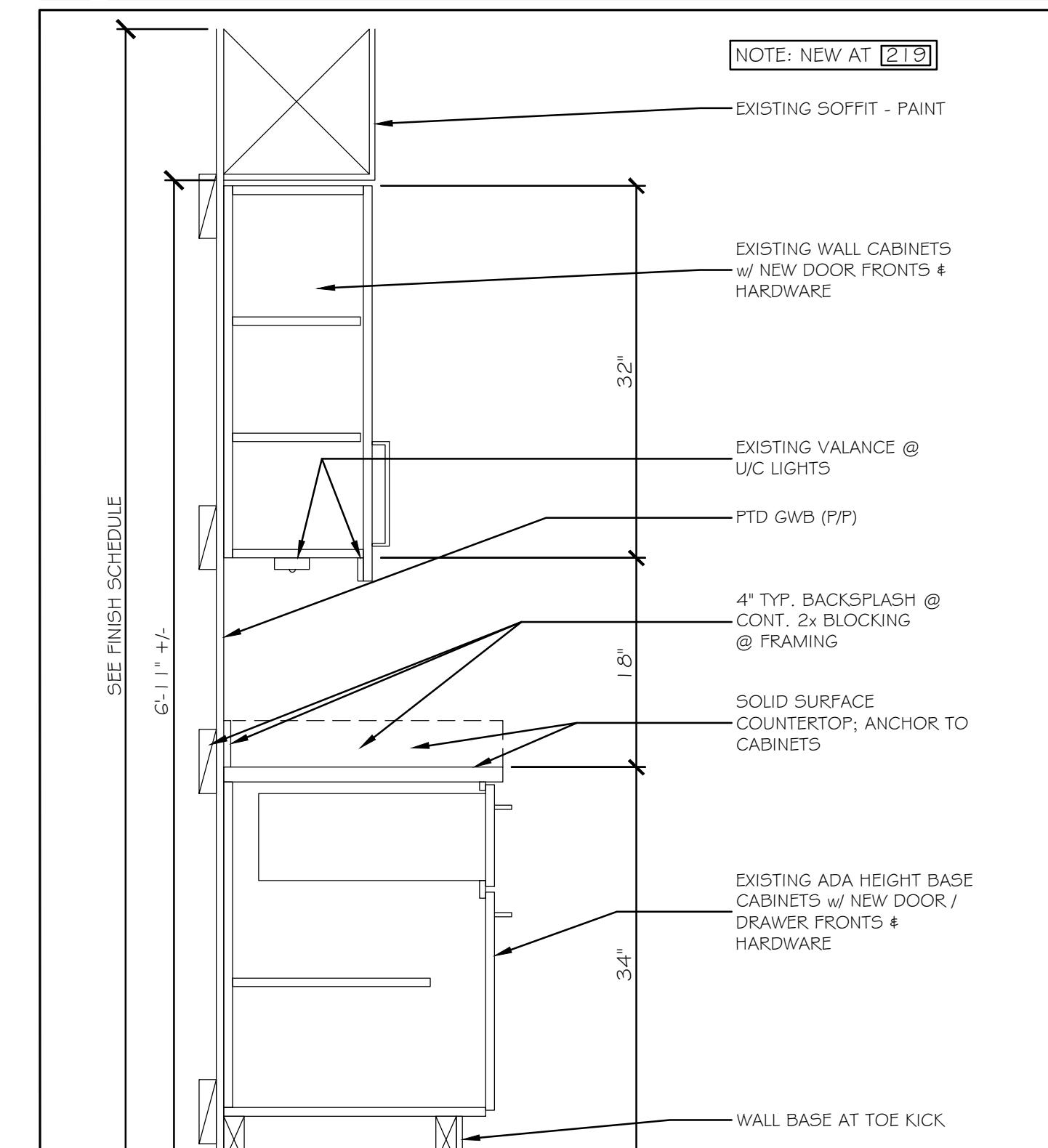
FIRST FLOOR BREAKROOM 154 LEFT

---

SCALE: 1/2" = 1'-0"

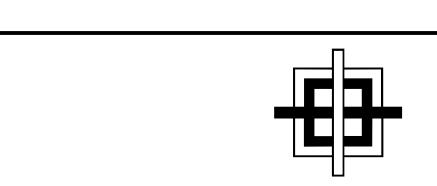


④ TYPICAL ADA SINK



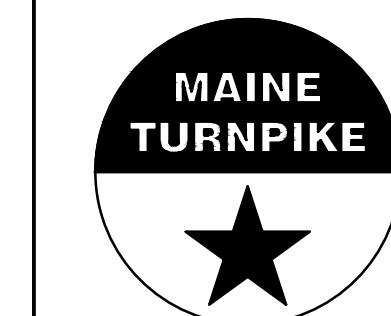
## ⑤ TYPICAL ADA CABINET

Scale: 1/2"=1'-0"				Designed by:				
								
				Michael F. Hays, RA				
No.	Revision	By	Date	CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB				
				Designed	By	Date	By	Date
				MFH	02/26/24	Checked	MFH	02/26/24
				MGK	02/26/24	In Charge of		



# GRANT HAYS ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN  
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# THE GOLD STAR MEMORIAL HIGHWAY

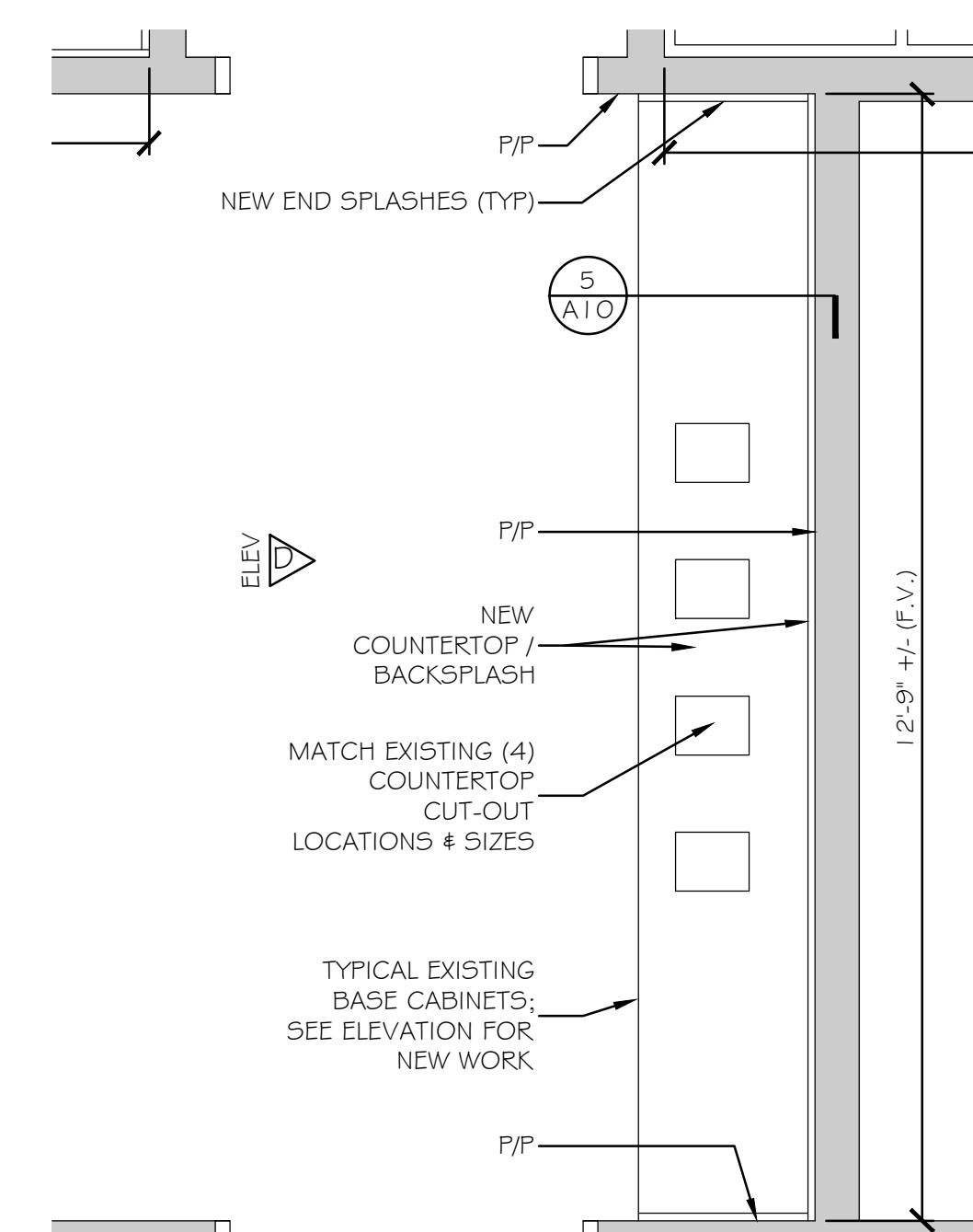
# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT BREAKROOM CASEWORK

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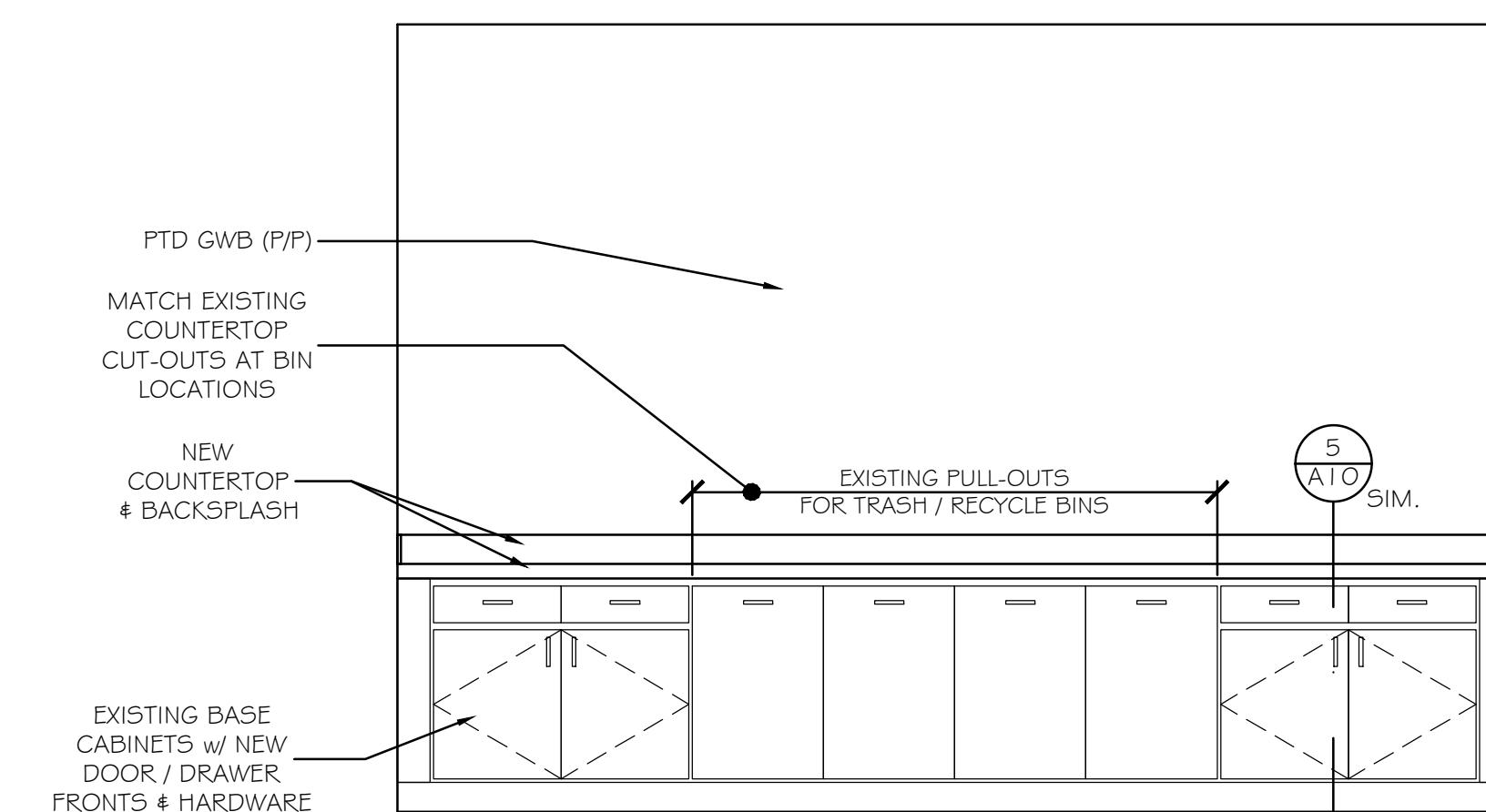
SHEET NUMBER: A-10

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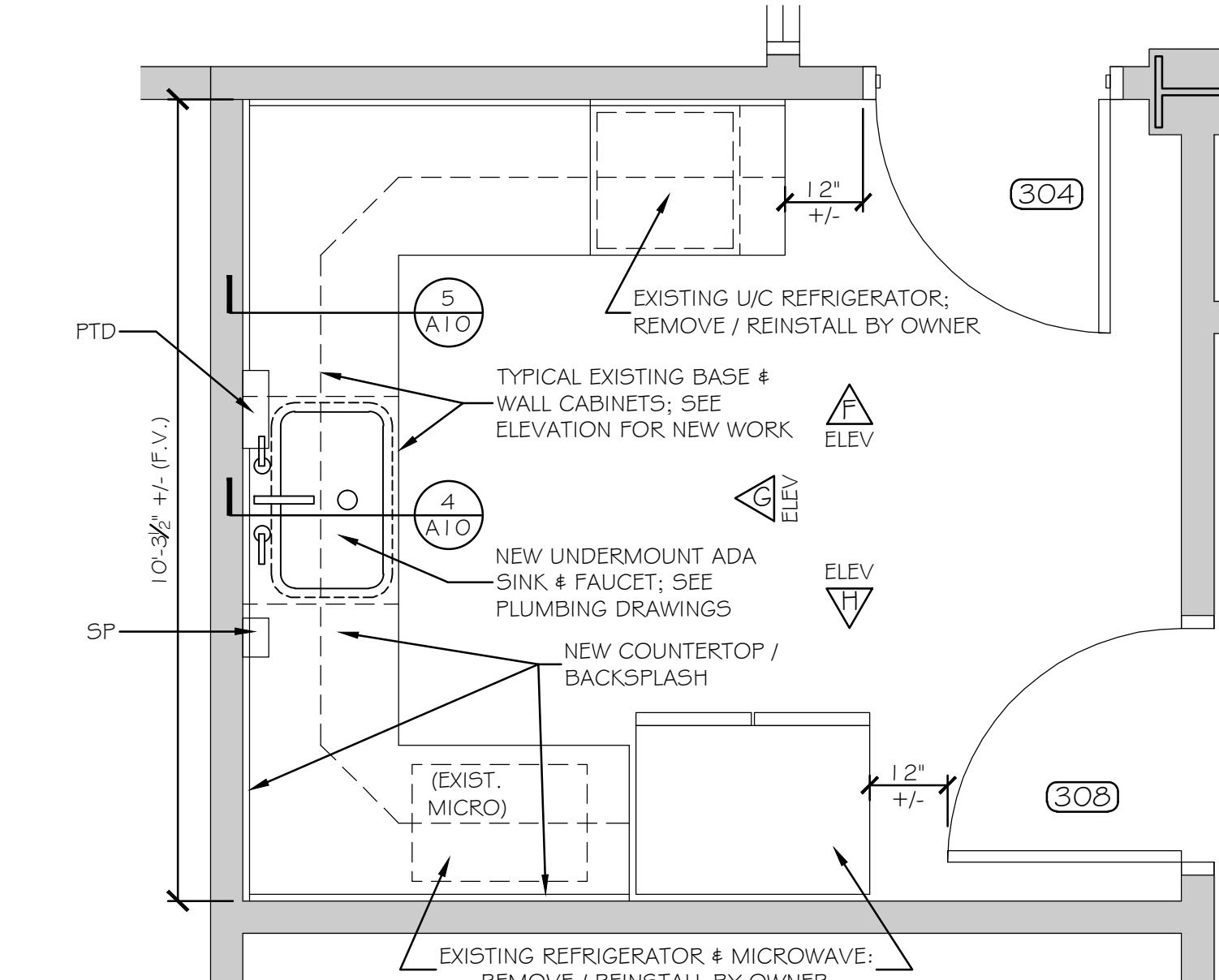
CONTRACT: 2023.10



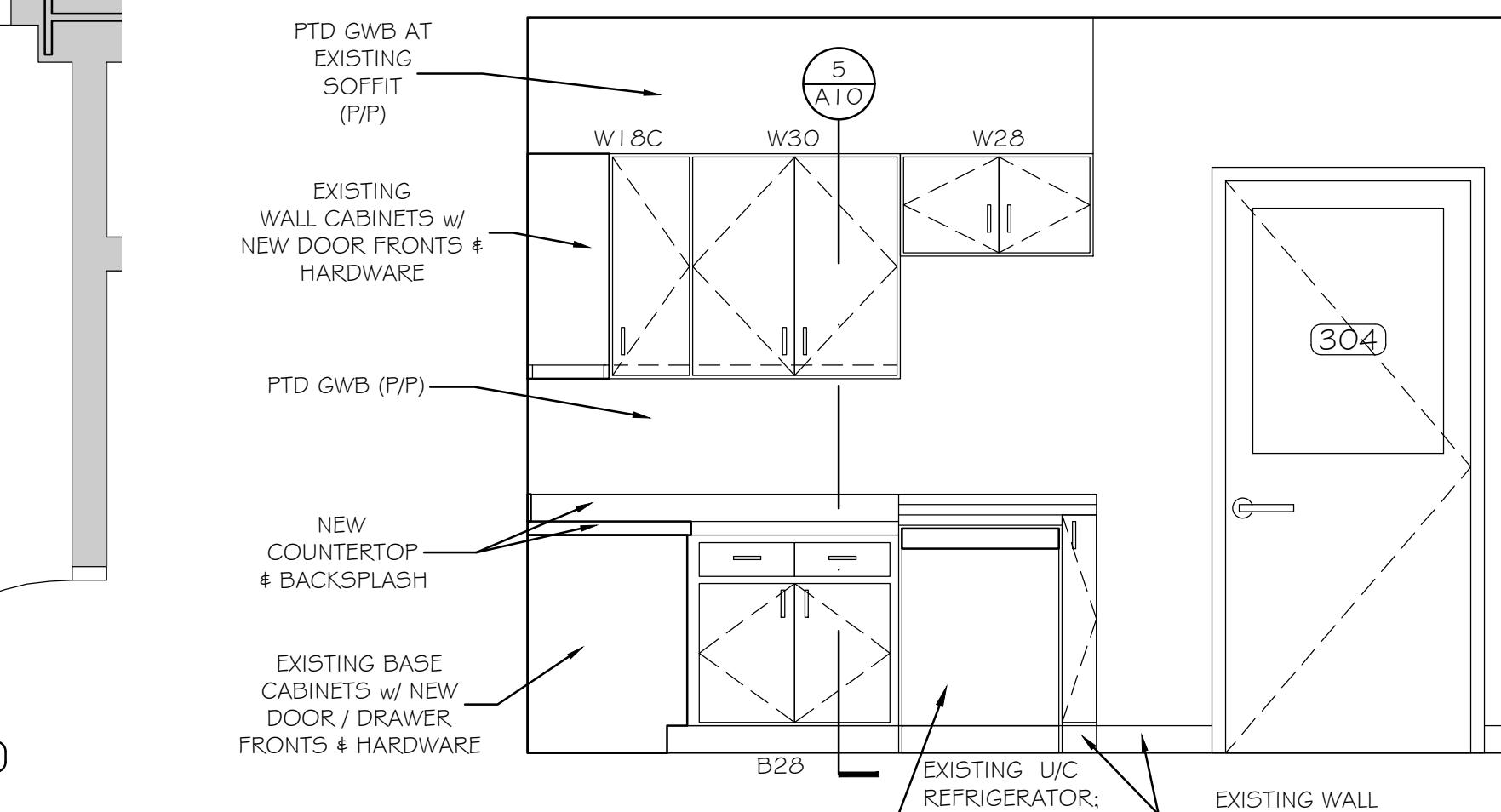
① FIRST FLOOR VENDING 155  
SCALE: 1/2" = 1'-0"



D FIRST FLOOR VENDING 155  
SCALE: 1/2" = 1'-0"



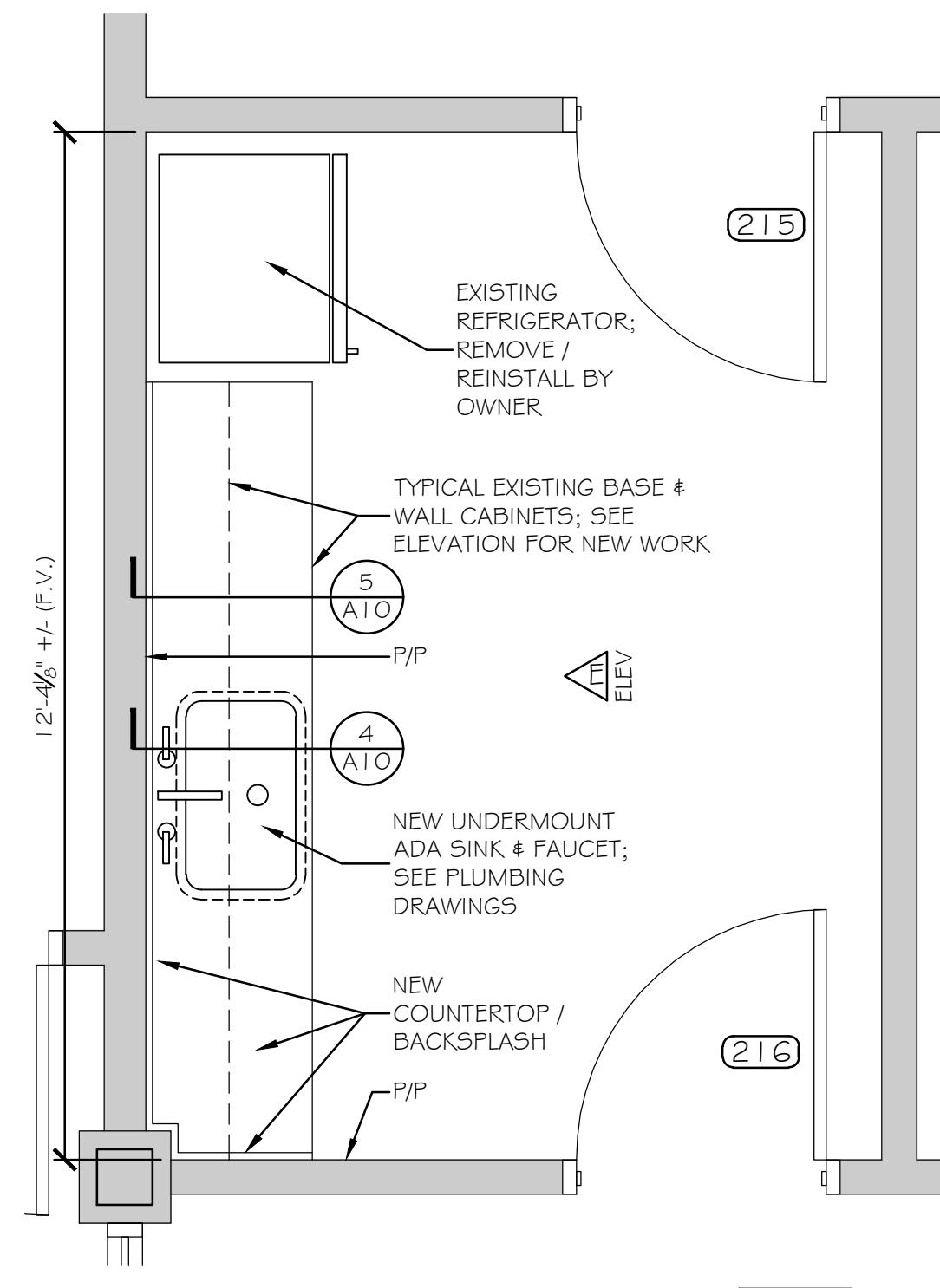
③ THIRD FLOOR KITCHEN 314  
SCALE: 1/2" = 1'-0"



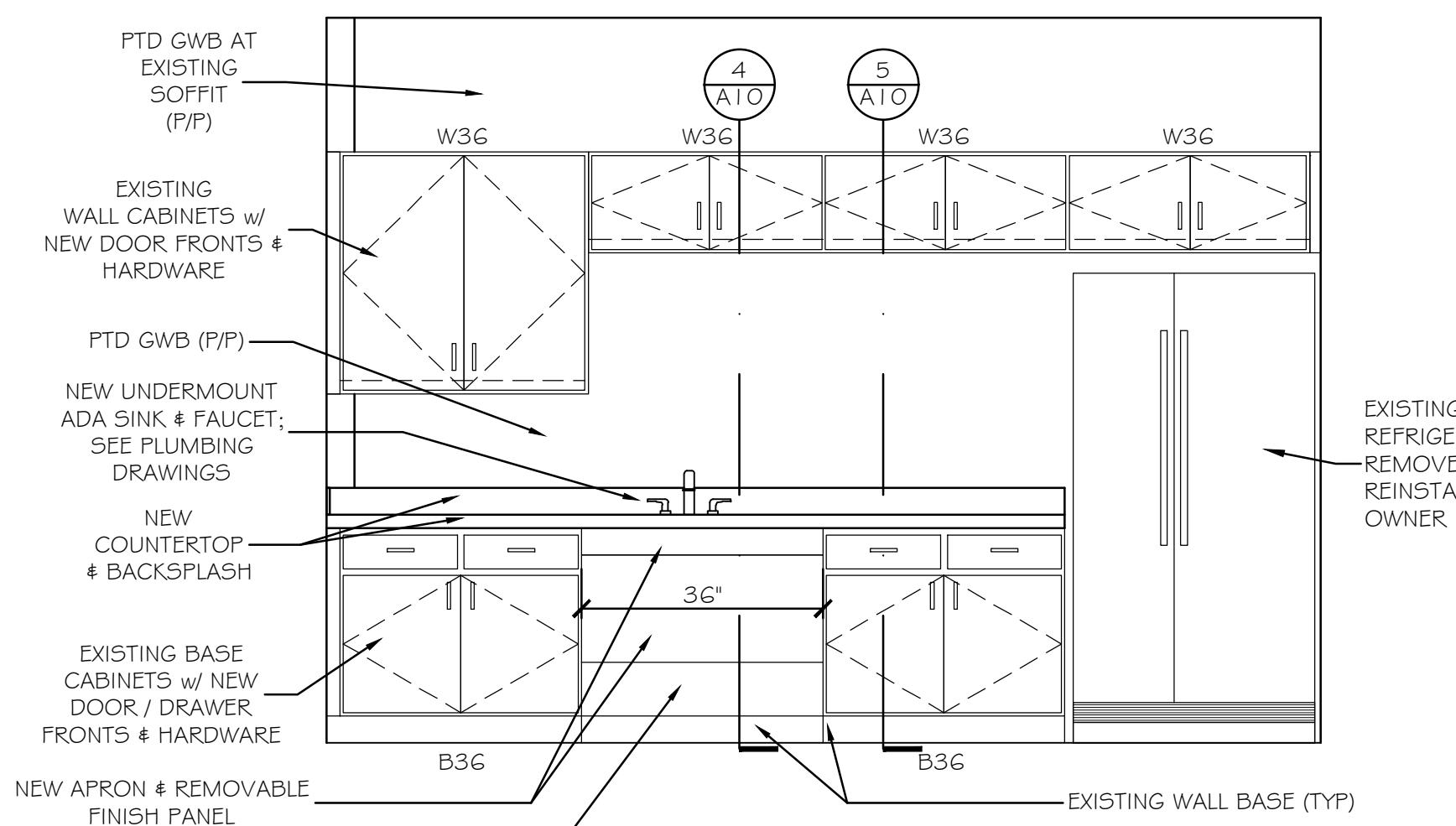
THIRD FLOOR KITCHEN 314

SCALE: 1/2" = 1'-0"

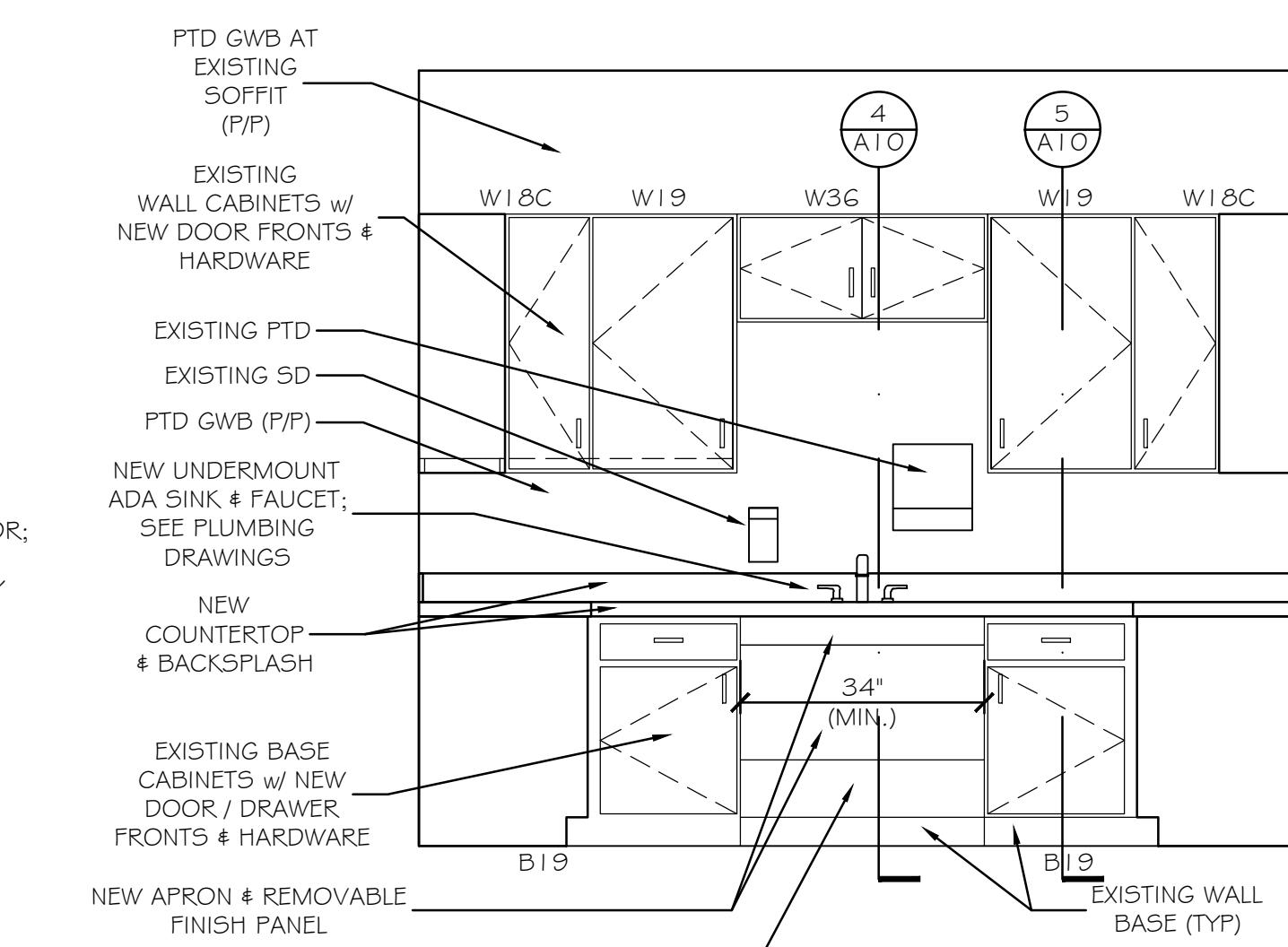
NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS



② SECOND FLOOR KITCHEN 235  
SCALE: 1/2" = 1'-0"

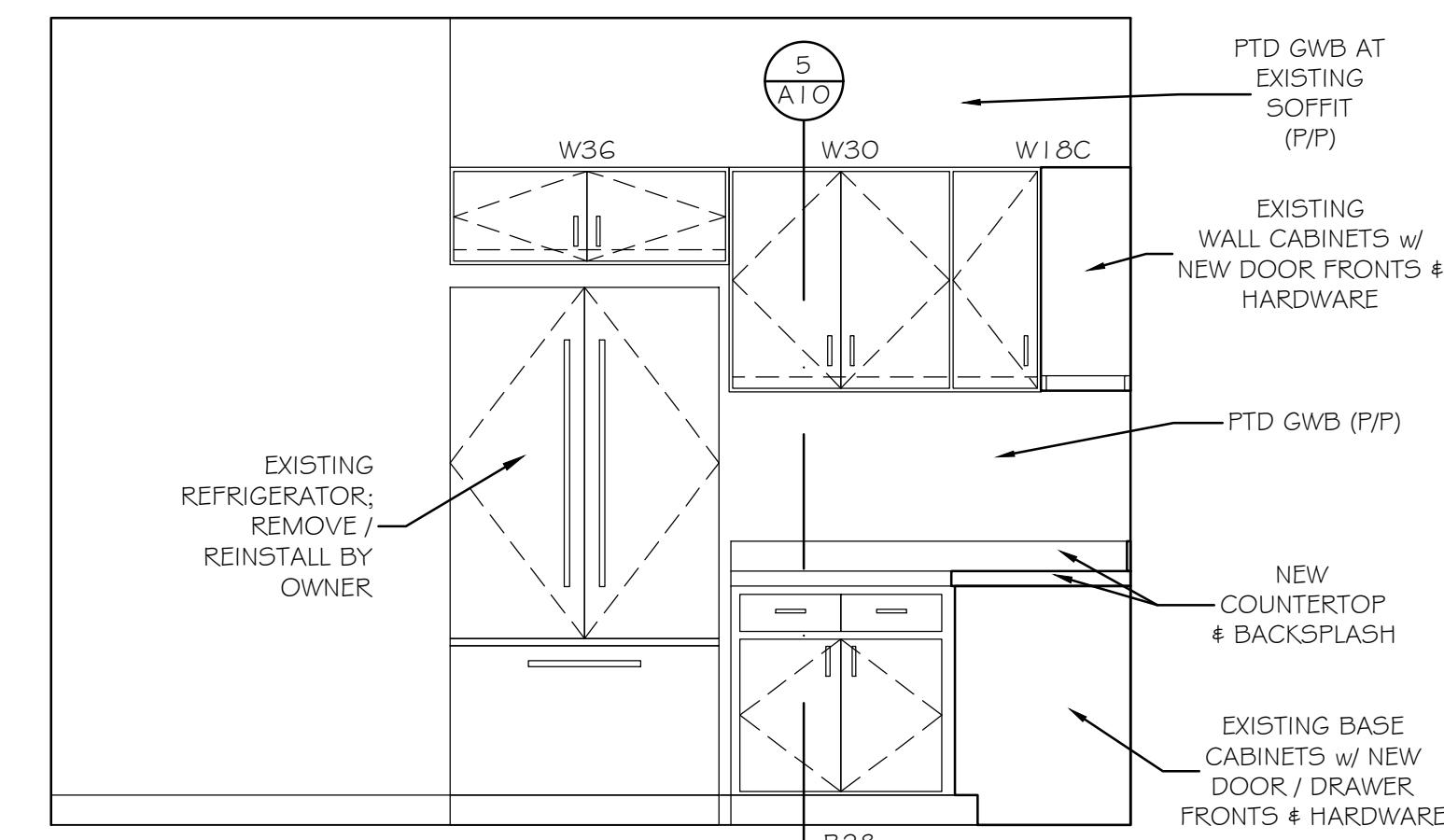


E SECOND FLOOR KITCHEN 235  
SCALE: 1/2" = 1'-0"



G THIRD FLOOR KITCHEN 314  
SCALE: 1/2" = 1'-0"

NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS



H THIRD FLOOR KITCHEN 314  
SCALE: 1/2" = 1'-0"

NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS

Scale: 1/2"=1'-0"

Designed by:

Michael F. Hays, RA



CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

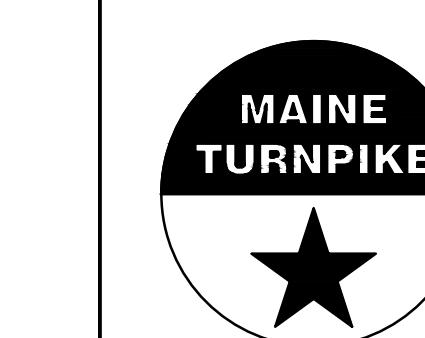
No.	Revision	By	Date

Designed By Date Checked By Date

Designed MFH 02/26/24 Checked MFH 02/26/24

Drawn MGK 02/26/24 In Charge of

GRANT HAYS  
ASSOCIATES  
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB  
ARCHITECTURE & INTERIOR DESIGN  
P.O. BOX 6179 FALMOUTH MAINE 04105  
207.871.5900 www.granthays.com



THE GOLD STAR  
MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

SHEET NUMBER: A-11

23 OF 70

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
VENDING & KITCHENS CASEWORK

CONTRACT: 2023.10

FIRST FLOOR  
DOOR SCHEDULE

ABBREVIATIONS													
ALUM DW ES EMHO GL	ALUMINUM DRYWALL EDGE STRIP ELECTRIC MAGNETIC HOLD OPENER GLASS	HM INSUL MANUFACTURER OCD OHD	HOLLOW METAL INSULATED MANUFACTURER OVERHEAD COILING DOOR	T-BREAK THERMAL INSULATED TRANSITION STRIP	TEMPERED V WD W/J	W/J	HOLLOW METAL INSULATED MANUFACTURER OVERHEAD COILING DOOR	T-BREAK THERMAL INSULATED TRANSITION STRIP	TEMPERED V WD W/J	W/J	W/J	W/J	W/J

NO	TYPE	DOORS				REMARKS	FRAMES				THRESHOLDS			
		SIZE (W x H)	THK	INSUL	HDWE		TYPE	FR	PROFILE	HEAD	JAMB	MATERIAL	SILL	FIN
101	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
102	E	—	—	—	HW-4	NOTE 1	E	—	—	—	—	E	—	—
103	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
104	E	—	—	—	HW-4	NOTE 1	E	—	—	—	—	E	—	—
105	E	—	—	—	HW-5	NOTE 2	E	—	—	—	—	E	—	—
106	E	—	—	—	HW-5	NOTE 1	E	—	—	—	—	E	—	—
107	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
108	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
109	E	—	—	—	—	—	E	—	—	—	—	E	—	—
110	E	—	—	—	—	—	E	—	—	—	—	E	—	—
111	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
112	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
113	E	—	—	—	HW-6	NOTE 3	E	—	—	—	—	E	—	—
114	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
115	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
116	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
117	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
118	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
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120	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
121	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
122	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
123	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
124	E	—	—	—	HW-6	NOTE 3	E	—	—	—	—	E	—	—
125	E	—	—	—	—	—	E	—	—	—	—	E	—	—
126	E	—	—	—	—	—	E	—	—	—	—	E	—	—
127	E	—	—	—	—	NOTE 2 & 8	E	—	—	—	—	E	—	—
128	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
129	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
130	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
131	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
132	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
133	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
134	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
135	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
136	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
137	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
138	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
139	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
140	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
141	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
142	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
143	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
144	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
145	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
146	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
147	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
148	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
149	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
150	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
151	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
152	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
153	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
154	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
155	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
156	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
157	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
158	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
159	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
160	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
161	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
162	E	—	—	—	—	NOTE 2	E	—	—	—	—	E	—	—
163	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
164	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
165	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
166	E	—	—	—	—	NOTE 1	E	—	—	—	—	E	—	—
167	E	—	—	—	HW-1	NOTE 4 & 5	E	—	—	—	—	E	—	—
168	E	—	—	—	HW-1	NOTE 4 & 5	E	—	—	—	—	E	—	—
169	E													

# THIRD FLOOR DOOR SCHEDULE

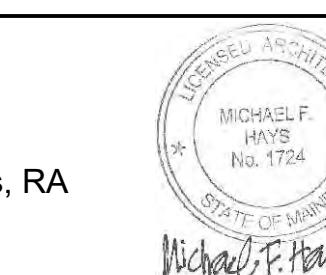
NO.	DOORS							REMARKS	FRAMES				THRESHOLDS		
	TYPE	SIZE (w x h)	THK	INSUL	HDWE	FR	GLASS		TYPE	FR	PROFILE	DETAILS	MATERIAL	DETAILS	
											HEAD	JAMB	SILL	FIN	
301	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
302	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
303	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
304	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
305	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
306	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
307	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
308	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
309	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
310	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
311	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
312	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
313	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
314	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
315	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
316	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
317	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
318	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
319	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
320	C	3070	1 3/4"	—	—	—	NONE	NONE	NOTE 6	E	—	—	—	E	—
321	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
322	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
323	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
324	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
325	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
326	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
327	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
328	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
329	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
330	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
331	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
332	E	—	—	—	—	—	—	NOTE 9	E	—	—	—	E	—	
333	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
334	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
335	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
336	D	3070	1 3/4"	—	—	T	24x36	NOTE 6	E	—	—	—	E	—	
337	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
338	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
339	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
340	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
341	E	—	—	—	—	—	—	NOTE 7	E	—	—	—	E	—	
342	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
343	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
344	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
345	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
346	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
347	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
348	E	—	—	—	—	—	—	NOTE 2	E	—	—	—	E	—	
349	D	3070	1 3/4"	—	—	T	24x36	NOTE 6	E	—	—	—	E	—	
350	E	—	—	—	—	—	—	NOTE 5	E	—	—	—	E	—	

## DOOR SCHEDULE NOTES

GENERAL: REFER TO SPECIFICATION SECTION 087100 - DOOR HARDWARE FOR HW-# WORK.

1. H.M. DOOR & FRAME: PREP & PAINT EXISTING HOLLOW METAL DOOR & FRAME.
2. H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT EXISTING H.M. FRAME.
3. H.M. FRAME & METAL / S.C. WOOD DOOR: MODIFY EXISTING HOLLOW METAL FRAME FOR NEW OVERSIZED STRIKE PLATE TO MATCH THROW OF EXISTING LATCH. PREP & PAINT H.M. FRAME. PREP & PAINT H.M. DOOR. SEE PHOTO 
4. ALUMINUM DOOR & FRAME: PATCH & PAINT SHEETROCK RETURNS AT JAMBS; RE-ANCHOR / REPLACE WALL BASE AS REQUIRED. INSTALL NEW CORNER PROTECTION TO 48" A.F.F. SEE PHOTO 
5. ALUMINUM DOOR & FRAME: REMOVE MARKS AT DOOR & FRAME. SEE PHOTO 
6. H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT EXISTING HOLLOW METAL FRAME. INSTALL NEW S.C. WOOD DOOR. RE-INSTALL SALVAGED HW.
7. H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT EXISTING HOLLOW METAL FRAME. RE-SEAL & FINISH COATS AT CUT EDGE OF S.C. WOOD DOOR, HINGE SIDE. SEE PHOTO 
8. H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT HOLLOW METAL FRAME. REMOVE STICKY RESIDUE & CLEAN ENTIRE S.C. WOOD DOOR.
9. H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT HOLLOW METAL FRAME. REMOVE MARKS AT SURFACE OF S.C. WOOD DOOR

Designed by:



Michael F. Hays, RA

No.	

revision

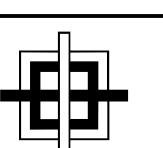
	Michael
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	Designed
	Drawn

. Hays, RA  
*Michael*

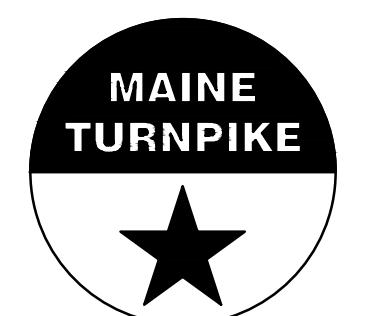
<b>HNTB</b>	
<b>By</b>	<b>Date</b>
MFH	02/26/24

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MTA PROJECT MANAGER: JACQUELINE HANSEN

# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT DOORS

SHEET NUMBER: A-12

25 OF 70

## FIRST FLOOR FINISH SCHEDULE

ABBREVIATIONS											
CARPET CUT & CONCRETE w/ HARDENER CMU CT DPP EP	FIBERGLASS REINFORCED PANELS CONCRETE MASONRY UNIT CERAMIC TILE DRYwall PAINT EPOXY PAINT	FCS P GL GWB IMP LVT	METAL PANEL FIBERGLASS RUBBER BASE RESILIENT FLOORING SUSPENDED ACOUSTICAL TILE STAINLESS STEEL	TP P V VCT WC	TRANSITION STRIP TOUCH PAINT VOC VOC WALL COVERING WOOD	TS TUP VOC VCT WC	TRANSITION STRIP TOUCH PAINT VOC VOC WALL COVERING WOOD	TS TUP VOC VCT WC	TRANSITION STRIP TOUCH PAINT VOC VOC WALL COVERING WOOD	TS TUP VOC VCT WC	TRANSITION STRIP TOUCH PAINT VOC VOC WALL COVERING WOOD

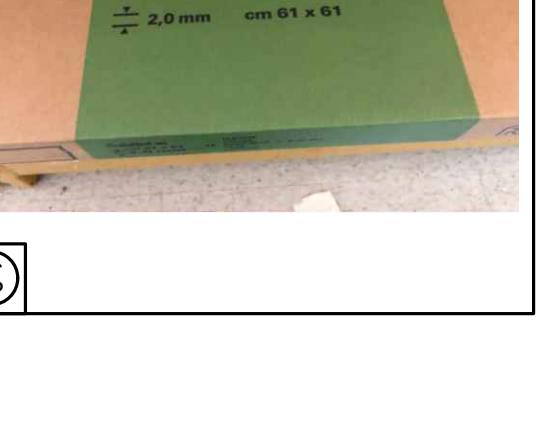
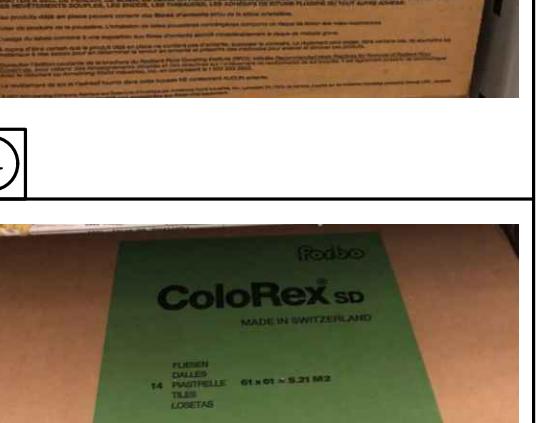
RM NO.	NAME	WALLS				FLOORS			CEILING A		CEILING B		REMARKS
		N	E	S	W	MAT'L	BASE	MAT'L	BASE	TYPE	HT.	TYPE	HT.
101	I.T.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
102	MEN'S TOILET	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
102a	SHOWER	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
103	WOMEN'S TOILET	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
103a	SHOWER	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
104	STAIR	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
105	STAIR	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
106	T/D	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
107	ELEC.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
108	JAN.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
109	SUPPLIES	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
110	I.T.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
111	CORR.	—	—	—	—	VCT*	VB*	—	—	—	—	—	—
112	COMPUTER REPAIR LAB	—	—	—	—	VCT*	VB*	—	—	—	—	—	—
113	COMPUTER STORAGE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
114	SERVER ROOM	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
115	BOTTLE	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
116	FARE COLLECTION STOR.	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
117	SEC. EVID. STORAGE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
118	INTERVIEW	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
119	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
120	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
121	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
122	CORR.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
123	CONFERENCE TRAINING	—	—	—	—	C*	VB*	—	—	—	—	—	*SEE PLANS
124	STORAGE	—	—	—	—	C*	VB*	—	—	—	—	—	*SEE PLANS
125	JANITOR	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
126	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
127	OFFICE	F	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
128	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
129	WAITING	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
130	CORR.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
131	TOILET	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
132	RECEPT.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
133	TOILET	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
134	WORK ROOM	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
135	WOMEN'S SHOWER	—	—	—	—	CT*	CT*	—	—	—	—	—	*SEE PLANS / NOTE 2
136	MEN'S SHOWER	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
137	CORR.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
138	BREAKROOM	—	—	—	—	P	VCT*	VB*	—	—	—	—	*SEE PLANS
139	LOCKERS	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
140	CORR.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
141	COMP.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
142	TROOPERS	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
143	CORR.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
144	SUPPLY	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
145	SALLYPORT	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
146	ARMORY	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
147	INTERVIEW	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
148	INTOX.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
149	TOILET	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
150	VEST.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
151	CORR.	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
152	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
153	OPEN OFFICE	—	—	—	—	C*	VB*	—	—	—	—	—	*SEE PLANS / NOTE 1
154	BREAKROOM	—	—	—	—	P	—	—	—	—	—	—	*SEE PLANS
155	VENDING	P	—	—	—	—	—	—	—	—	—	—	*SEE PLANS
156	CORR.	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
157	NOT USED	—	—	—	—	—	—	—	—	—	—	—	—
158	CORR.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
159	CONFERENCE	—	—	—	—	C*	VB*	—	—	—	—	—	*SEE PLANS / NOTES 1 & 4
160	ELEV. MACH.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
161	OPEN OFFICE	—	—	—	—	P	C*	VB*	—	—	—	—	*SEE PLANS / NOTE 1
162	OFFICE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
163	CUSTODIAL STORAGE	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
164	CORR.	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
165	VEST.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
166	OFFICE SUPPLIES	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
167	BUILDING SERVICES	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
168	SHIP / RECEIVE	—	—	—	—	—	VB*	—	—	—	—	—	*SEE PLANS
169	MECH.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
170	CORR.	—	—	—	—	VCT*	VB*	—	—	—	—	—	*SEE PLANS
171	TEL / DATA	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
172	ELEC.	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
173	FILE STORAGE												

## THIRD FLOOR FINISH SCHEDULE

RM NO.	NAME	WALLS				FLOORS			CEILING A		CEILING B		REMARKS	
		N	E	S	W	MAT'L	BASE	MAT'L	BASE	TYPE	HT.	TYPE	HT.	
301	HALL	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
301a	ALCOVE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
302	MEN'S TOILET	—	CT*	—	—	—	—	—	—	—	—	—	—	*SEE NOTES 2, 3 & 5
303	WOMEN'S TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
304	STAIR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
305	STAIR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
306	T/D	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
307	ELEC.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
308	JAN.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
309	SUPPLIES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
310	AUTHORITY ROOM	—	—	—	C	WD*	—	—	—	—	—	—	—	*SEE PLANS / NOTE 6
311	CLOSET	E	E	E	E	C	E	E	E	E	E	E	E	SEE NOTE #3
312	CLOSET	E	E	E	E	C	E	E	E	E	E	E	E	SEE NOTE #3
313	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
314	KITCHEN	P	P	P	P	—	—	—	—	—	—	—	—	*SEE NOTE #5
315	STORAGE	E	E	E	C	E	E	E	E	E	E	E	E	SEE NOTE #3
316	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
317	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
318	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
319	WAIT	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
320	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
321	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
322	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
323	VAULT	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
324	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
325	COPY	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
326	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
327	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
328	TEST	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
329	CONFERENCE D	P*	—	—	—	—	—	—	—	—	—	—	—	*SEE NOTES 3 & 4
330	WAITING	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
331	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
332	FILES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
333	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
334	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
335	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
336	CORR.	—	P*	—	—	VB*	—	—	—	—	—	—	—	*SEE PLANS
337	FILE STORAGE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
338	CONFERENCE C	E	E	P*	E	E	E	E	E	E	E	E	E	SEE NOTE #3
339	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
340	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
341	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
342	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
343	LAYOUT	P*	E	P*	E	E	E	E	E	E	E	E	E	SEE NOTE #3
344	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
345	EXEC. CONFERENCE B	—	—	P*	—	—	—	—	—	—	—	—	—	*SEE NOTES 3 & 4
346	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
347	TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
348	STOR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
349	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
350	NOT USED	—	—	—	—	—	—	—	—	—	—	—	—	
351	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
352	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
353	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3
354	CORR.	P*	—	—	VB*	—	—	—	—	—	—	—	—	*SEE PLANS

### ABBREVIATIONS

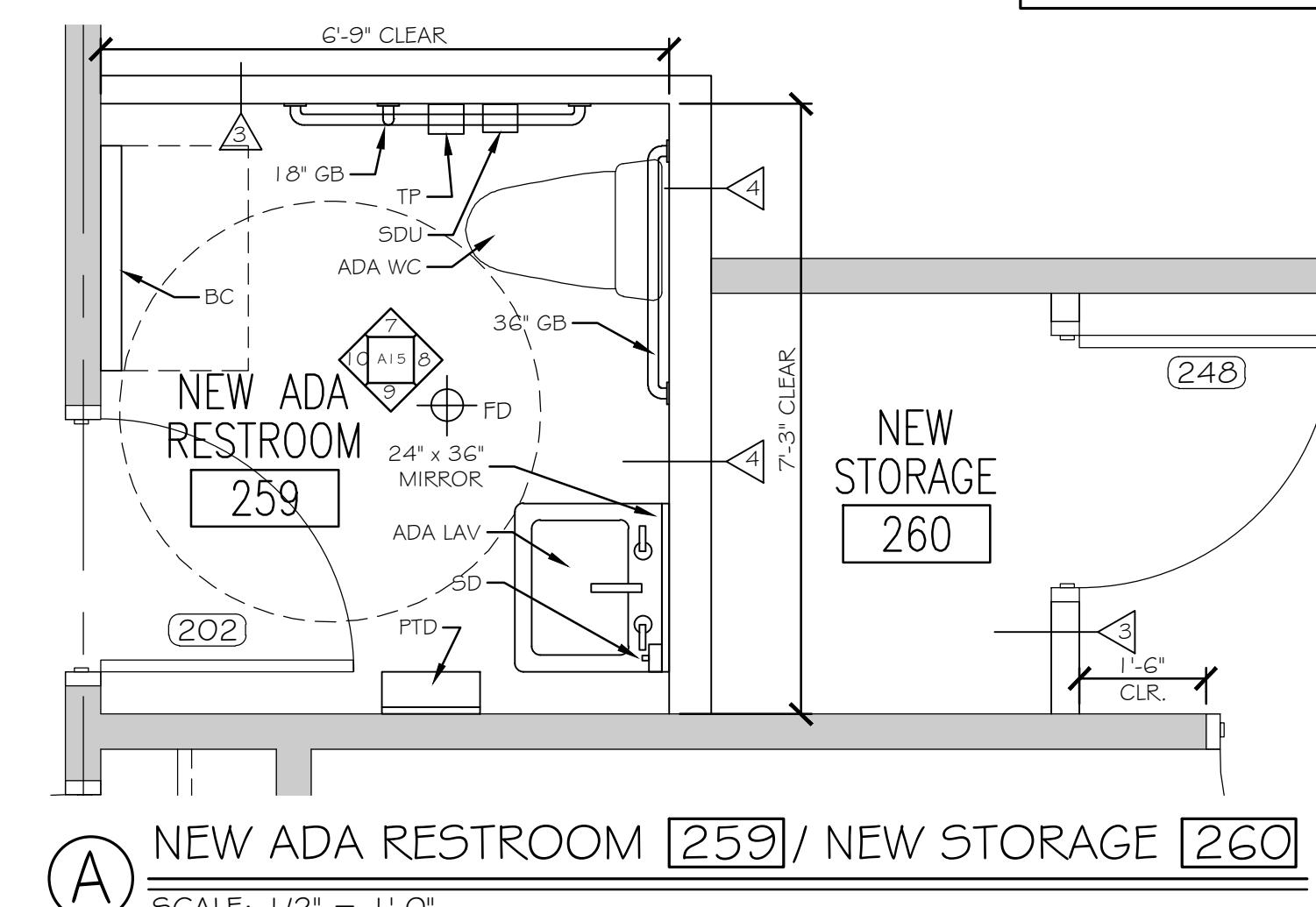
CARPET	FCS	FLOOR COATINGS SYSTEM	MP	METAL PANEL	TS	TRANSITION STRIP
CMU	CONCRETE W/ HARDENER	FIBERGLASS REINFORCED PANELS	PR	RUBBER BASE	TP	TOUCH PAINT
CT	CERAMIC TILE	GLASS	GL	GYPSUM WALL BOARD	VC	VINYL BASE
D/P	DRY PAINT	SAT	RF	RESILIENT FLOORING	VCT	VINYL COMPOSITION TILE
EP	EPoxy PAINT	LVT	SS	INSULATED METAL PANEL	WC	WALL COVERING

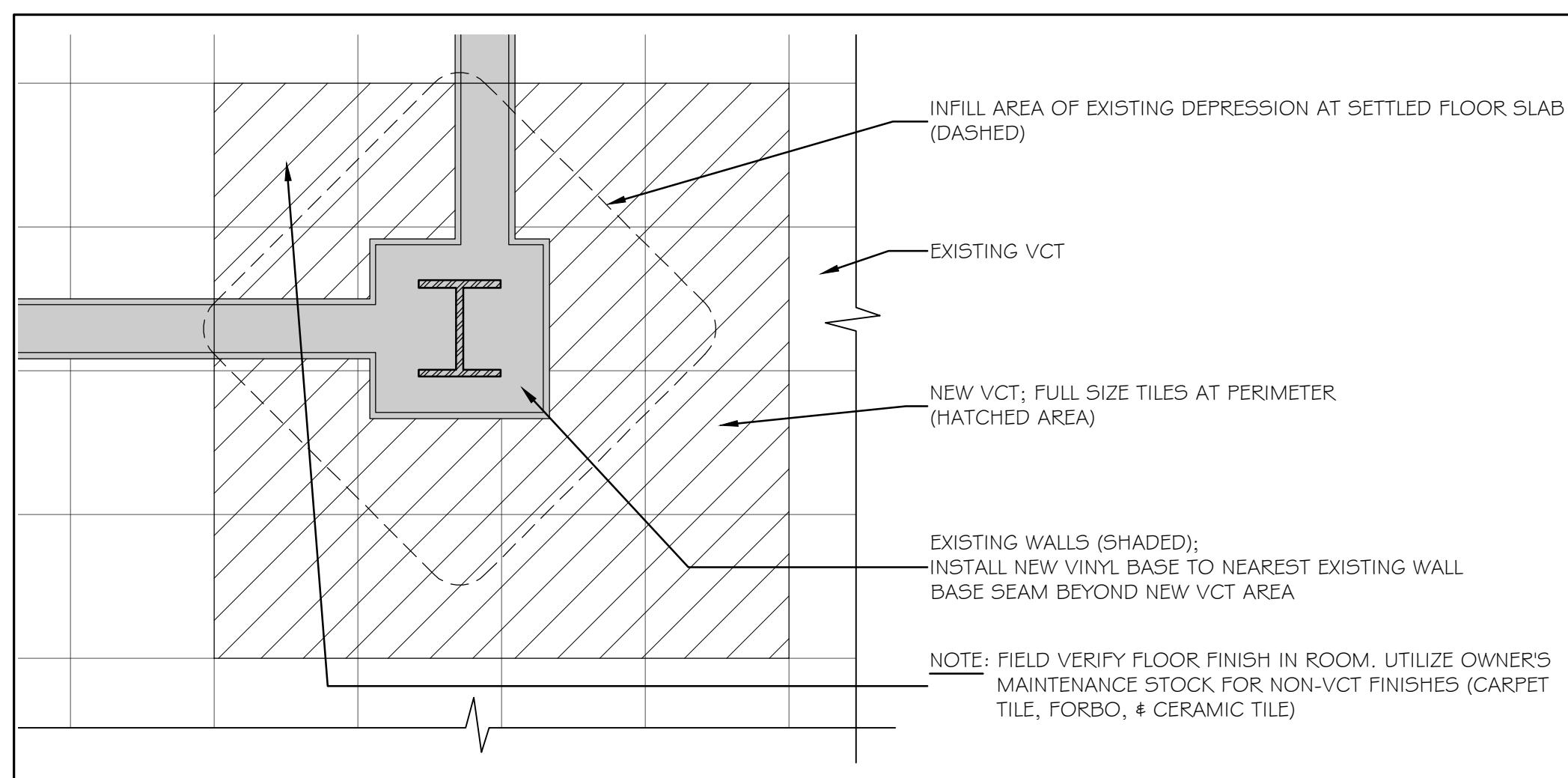


TAG	ITEM NAME	COLOR	PHOTO #
C*	"DAZZLE" CARPET TILE	GREEN	①
CT*	MOSAIC CERAMIC WALL TILE	MULTI	②
GT*	GRANITE FLOOR TILE	NATURAL	③
VCT*	ARMSTRONG IMPERIAL TEXTURE	—	④
VB*	JOHNSTONE 4" VINYL COVE BASE	WETLANDS	⑤
—	FORBO SPECIALTY TILE	—	⑥

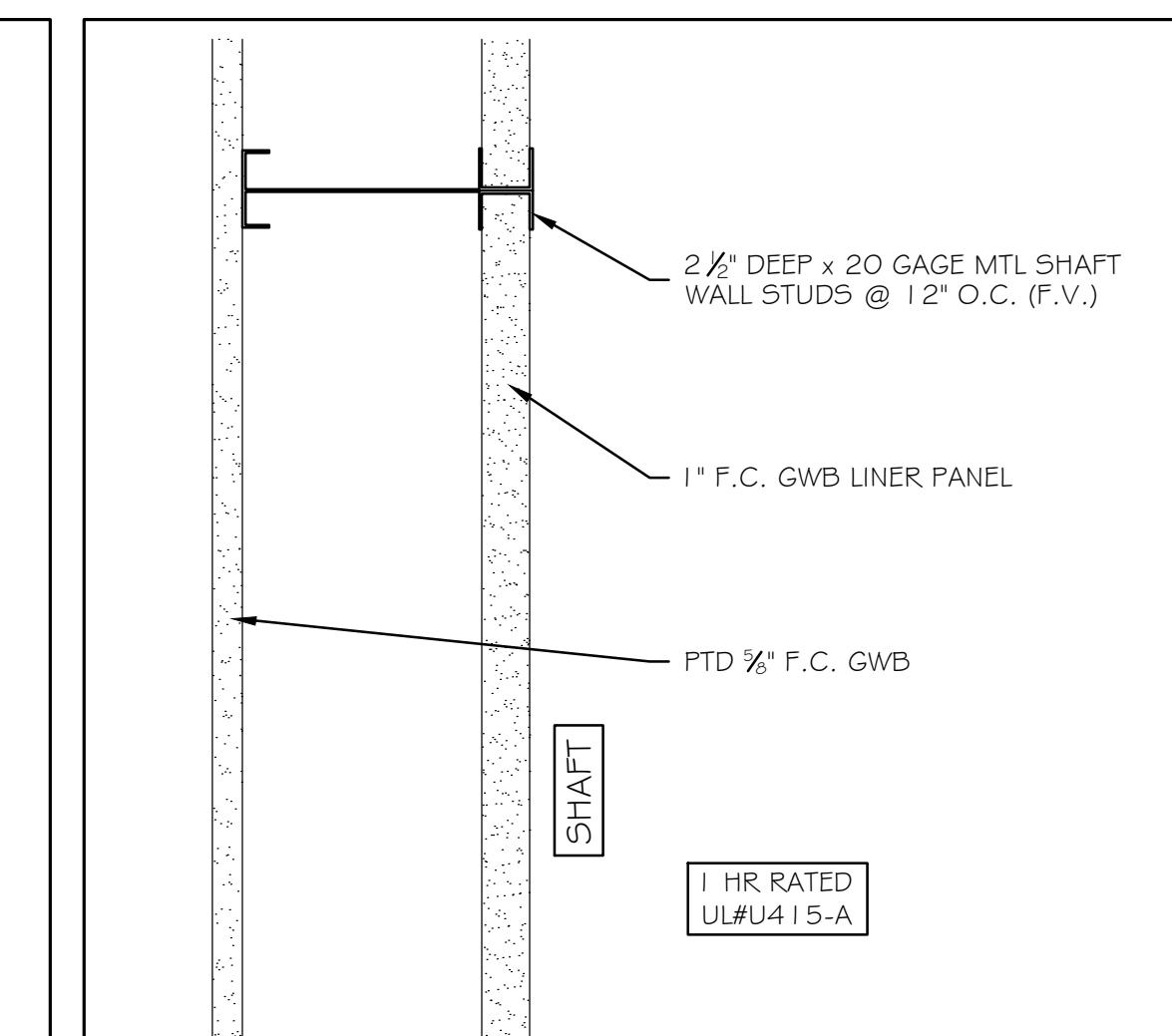
### DEMOLITION NOTES LEGEND

- REINSTALL SALVAGE CARPET TILE IF IN ACCEPTABLE CONDITION. OTHERWISE, INSTALL NEW CARPET TILE OBTAINED FROM OWNER'S MAINTENANCE STOCK.
- REINSTALL SALVAGE CERAMIC TILE IF IN ACCEPTABLE CONDITION. UTILIZE OWNER'S MAINTENANCE STOCK AS NEEDED. MATCH EXISTING GROUT COLOR.
- PATCH / PAINT / REINSTALL (OR REPLACE) WALL & CEILING FINISHES TO MATCH ADJACENT FINISH ONCE MECHANICAL / PLUMBING / ELECTRICAL WORK IS COMPLETED.
- COORDINATE PATCHING / PAINTING COMPLETION SCHEDULE w/ INSTALLATION OF AV EQUIPMENT BY OWNERS CONTRACTOR.
- CLEAN ALL TILE SURFACES AFTER COMPLETION OF PLUMBING WORK.
- PROTECT EXISTING HARDWOOD WALL BASE DURING CARPET REPLACEMENT WORK. REPLACE / REPAIR DAMAGED BASE TO MATCH EXISTING, INCLUDING REFINISHING WALL BASE AT ENTIRE ROOM.
- INSTALL NEW OAK WALL BASE AT ENTIRE WEST WALL. MATCH EXISTING SIZE, FINISH & PROFILE.
- INSTALL MATCHING GRANITE TILE; UTILIZE OWNER'S MAINTENANCE STOCK.
- INSTALL NEW CARPET TILE FROM OWNER MAINTENANCE STOCK AT REMOVED PARTITION. PATCH EXISTING CEILING GRID & SAT WITH NEW COMPONENTS TO MATCH EXISTING.

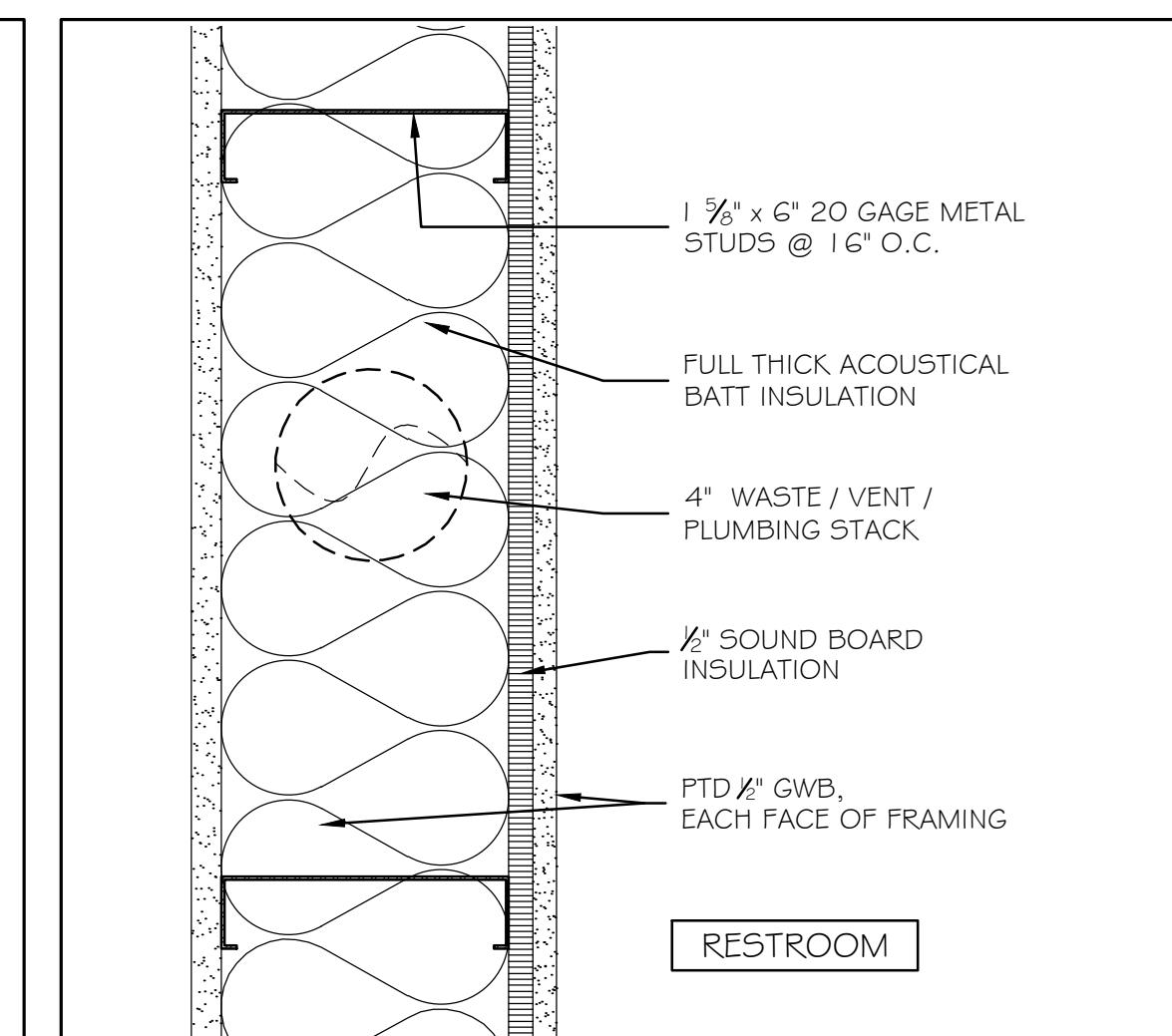




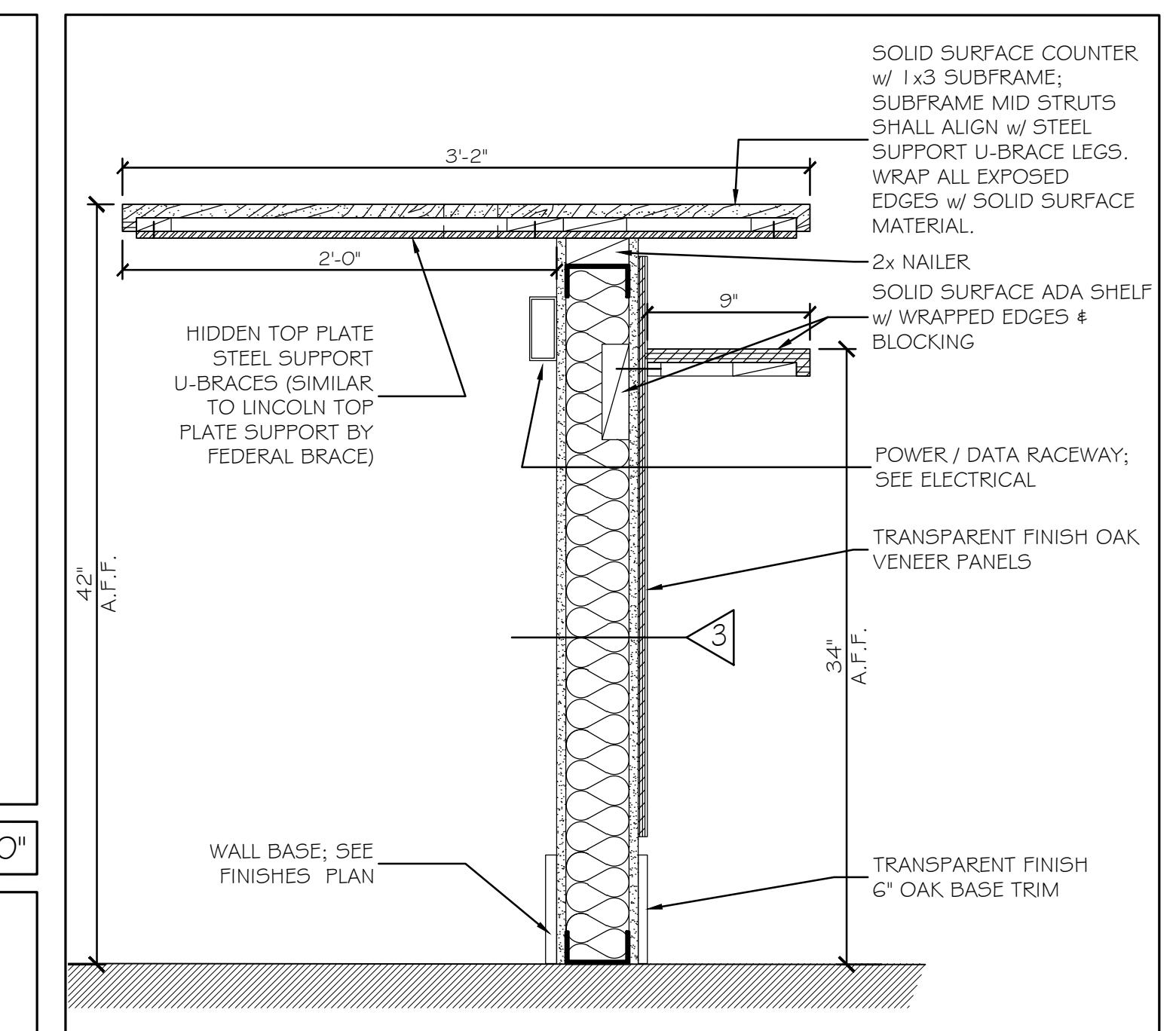
① INFILL AT FLOOR SLAB DEPRESSION



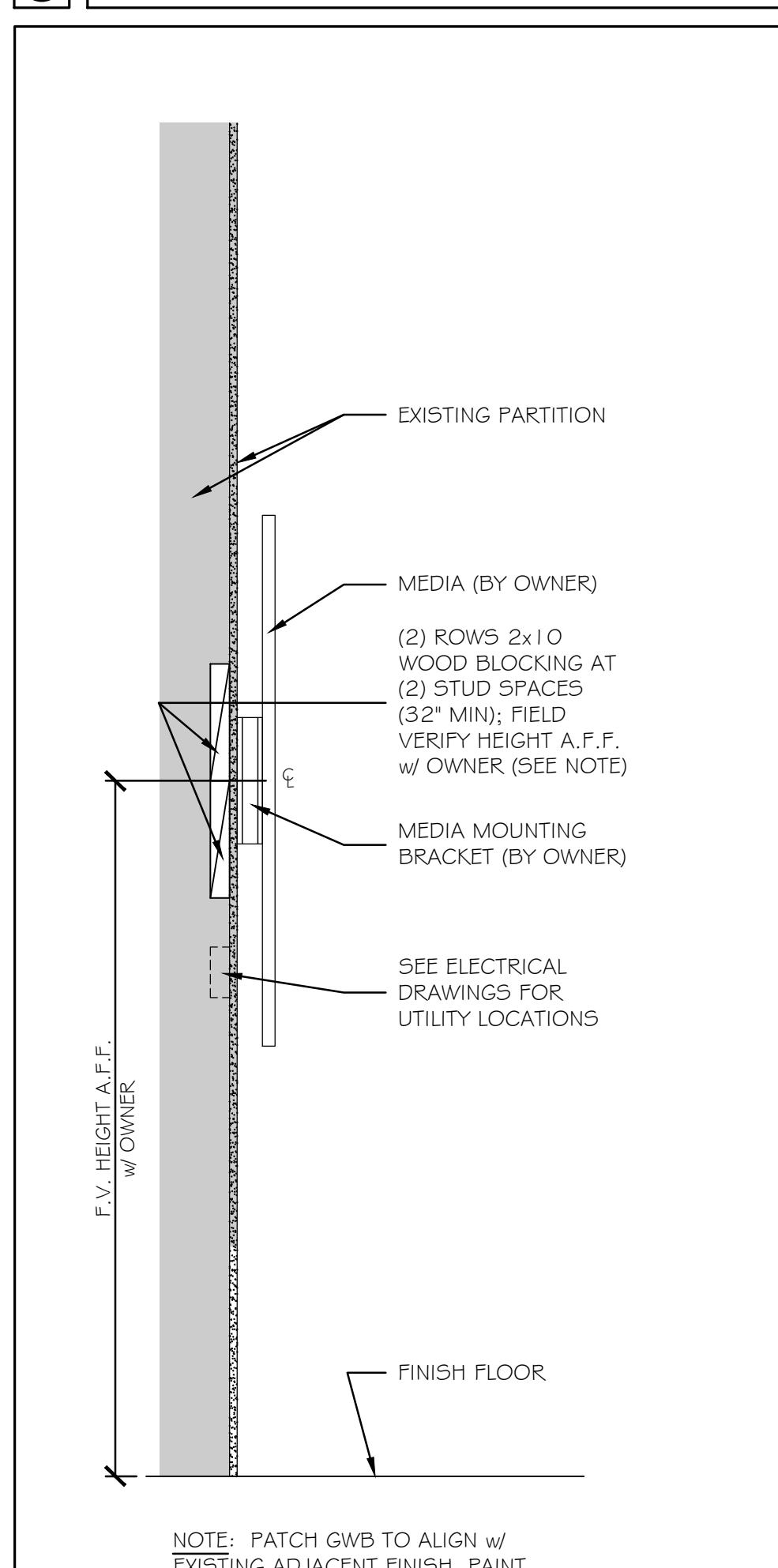
⑤ SHAFTWALL PARTITION △ 3" = 1'-0"



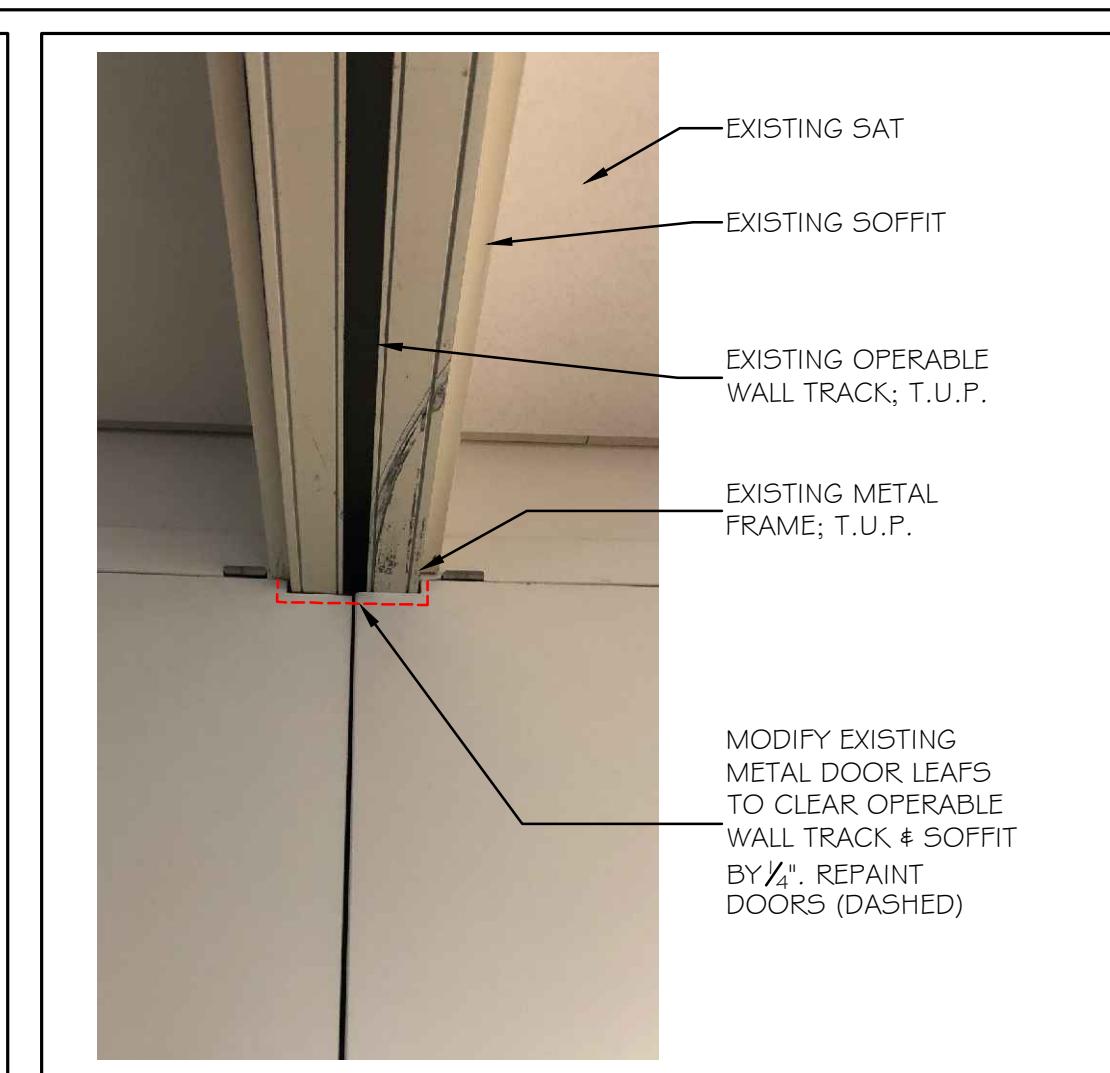
⑥ PARTITION TYPE △ 3" = 1'-0"



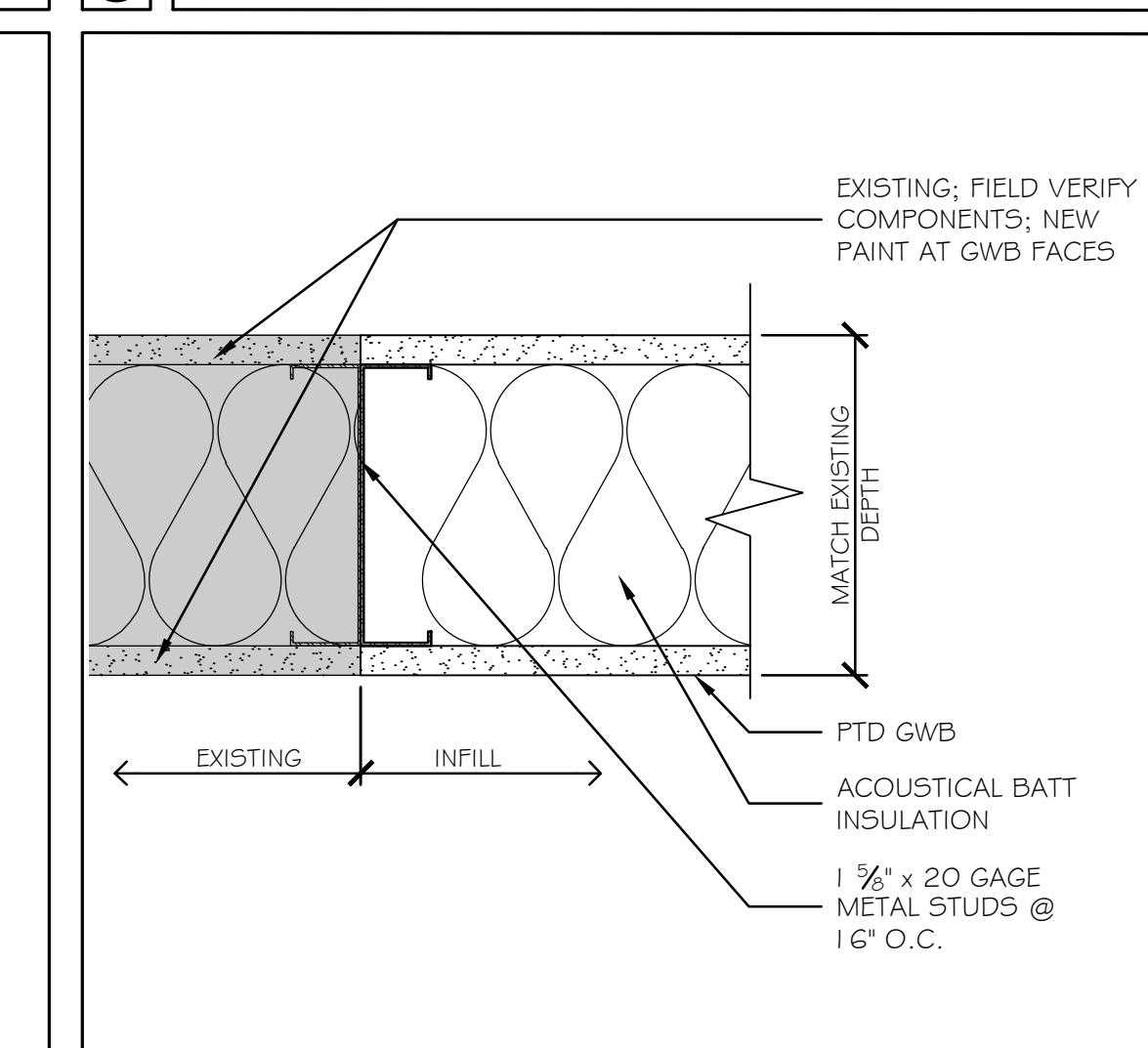
⑪ SECTION AT TRANSACTION COUNTER 1 1/2" = 1'-0"



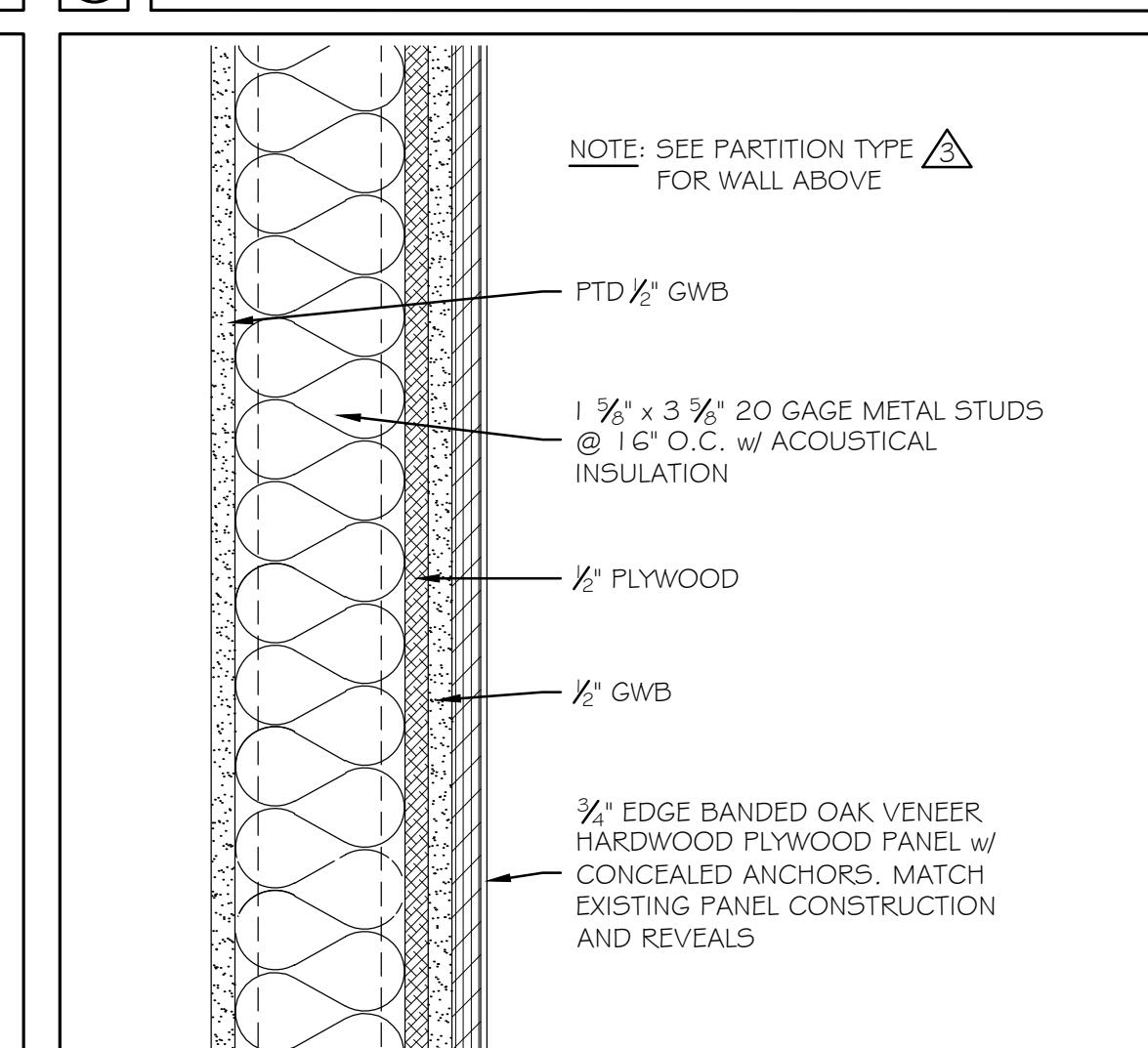
② MEDIA SUPPORT BLOCKING 1" = 1'-0"



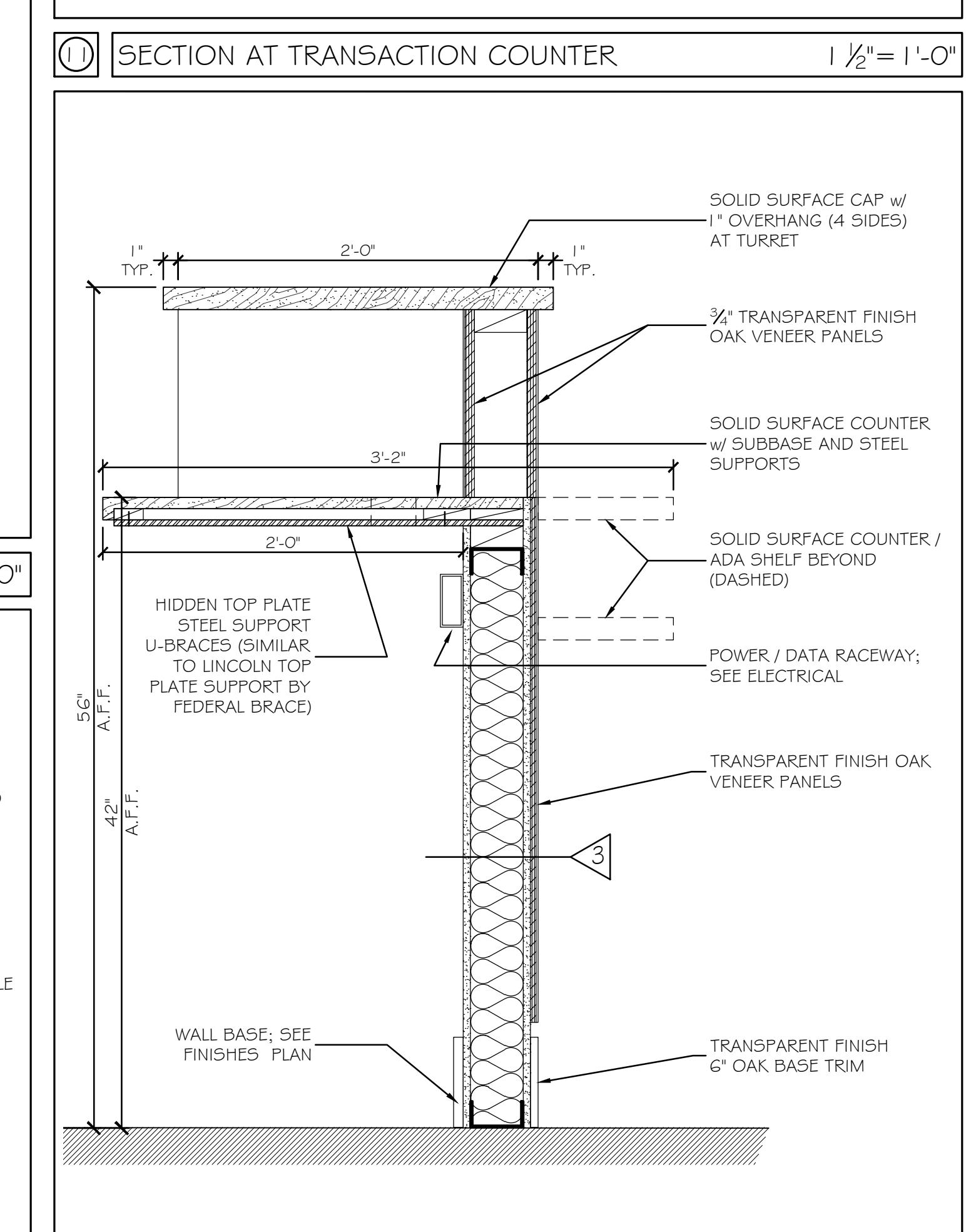
③ DOOR 23 i MODIFICATIONS NO SCALE



⑥ PARTITION INFILL DETAIL △ 3" = 1'-0"



⑦ VENEER PANEL WALL DETAIL 3" = 1'-0"



⑫ SECTION AT COUNTER TURRET 1 1/2" = 1'-0"

Scale: AS NOTED

Designed by:

Michael F. Hays, RA



CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No. Revision By Date

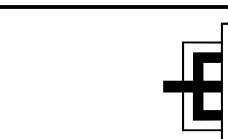
1 ADDENDUM 1 MFH 3/19/24

Designed By Date

Drawn By Date

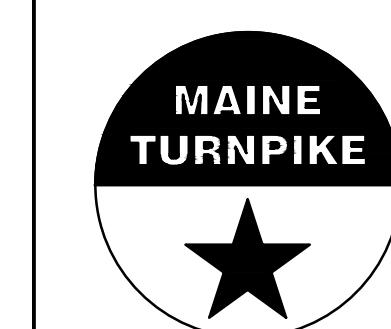
Designed MFH 02/26/24 Checked MFH 02/26/24

Drawn MGK 02/26/24 In Charge of



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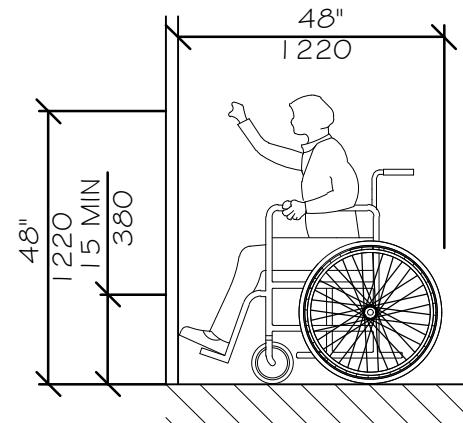
THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
DETAILS

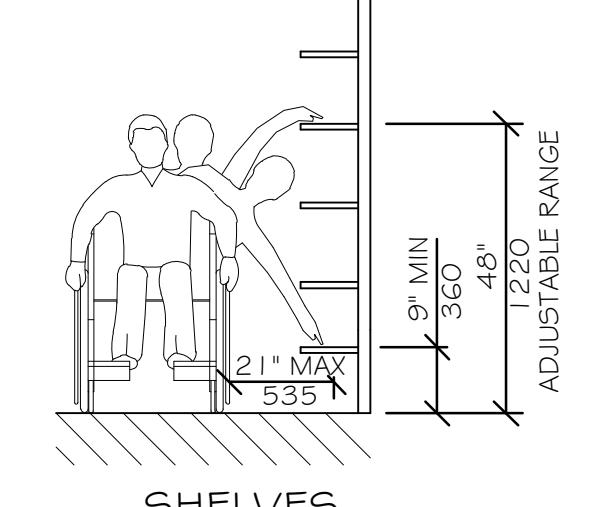
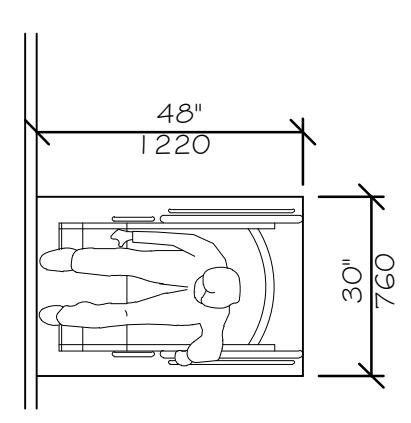
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CONTRACT: 2023.10

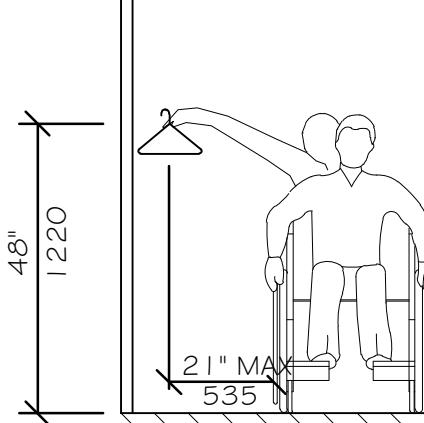
28 OF 70



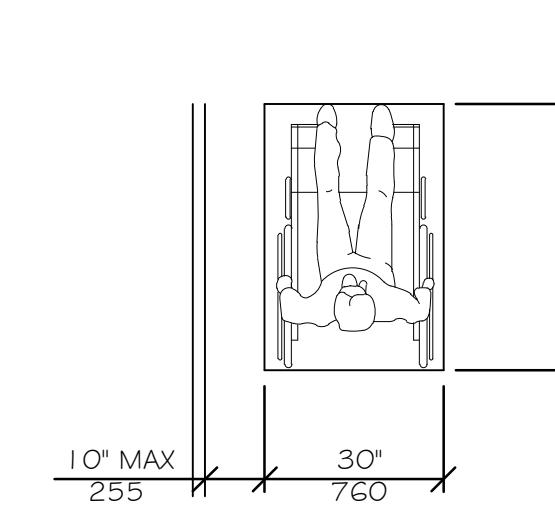
HIGH FORWARD REACH LIMIT  
NTS



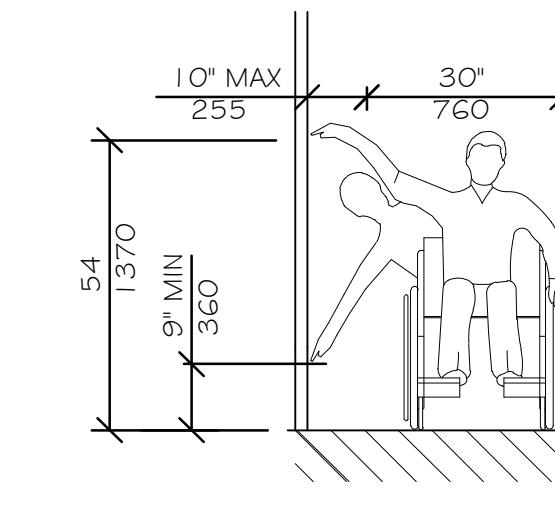
STORAGE SHELVES AND CLOSETS  
NTS



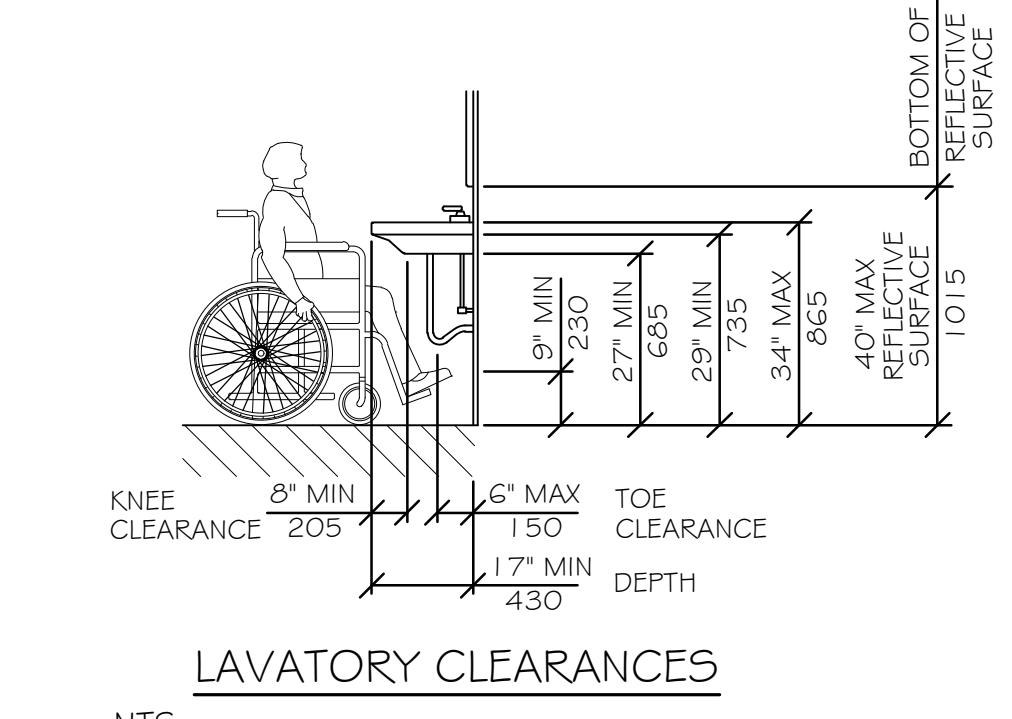
CLOSETS



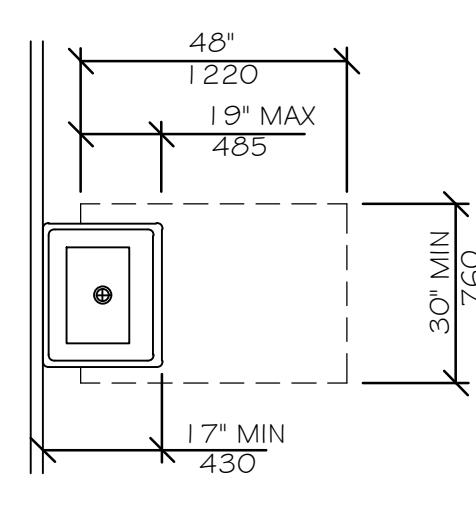
CLEAR FLOOR SPACE  
PARALLEL APPROACH  
NTS



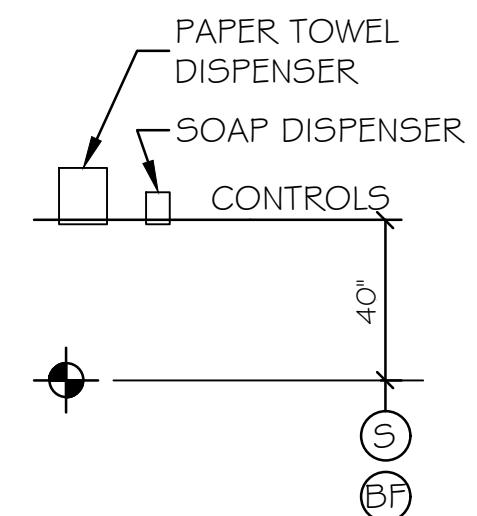
HIGH AND LOW  
SIDE REACH LIMITS  
NTS



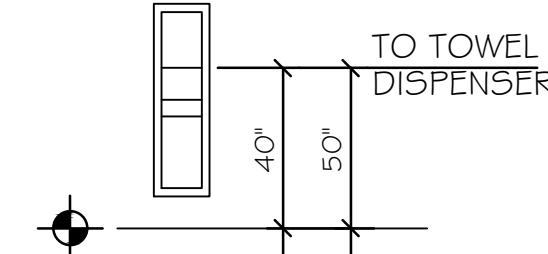
LAVATORY CLEARANCES  
NTS



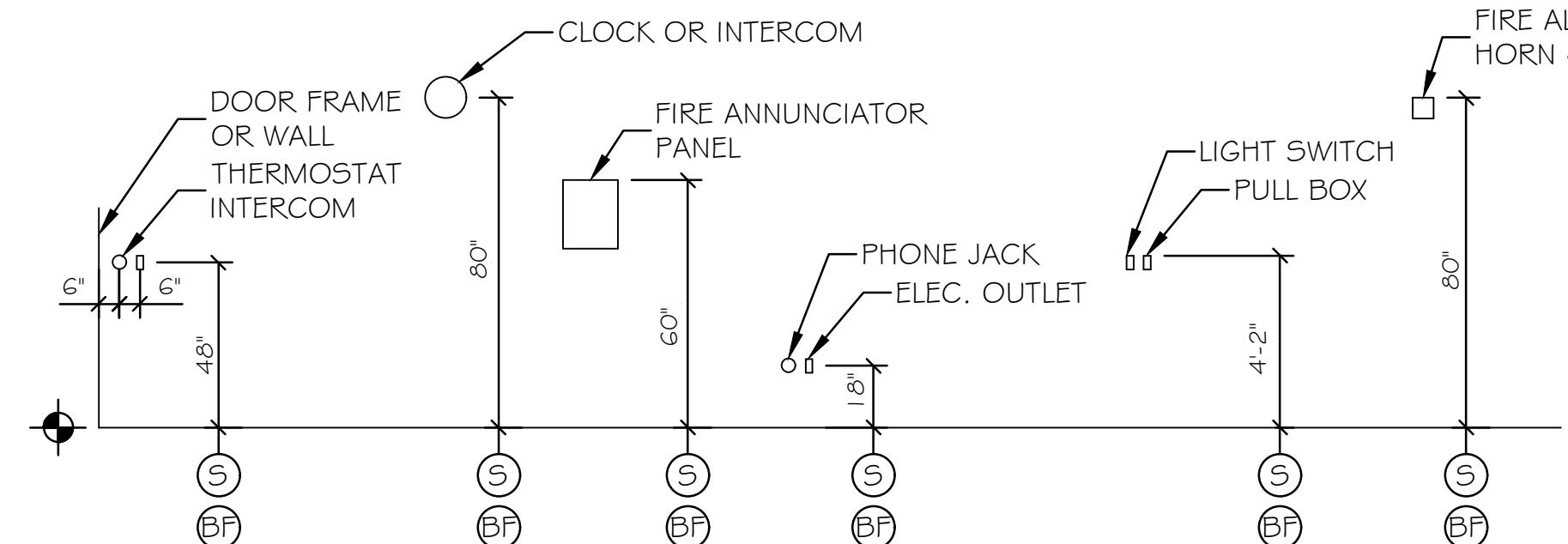
CLEAR FLOOR SPACE  
AT LAVATORIES  
NTS



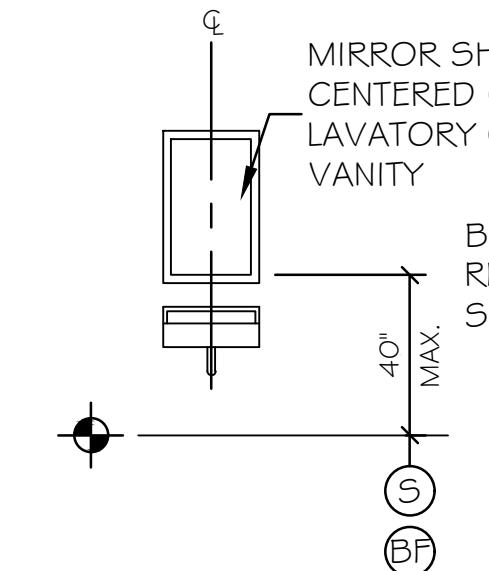
TOWEL & SOAP  
DISPENSERS  
NTS



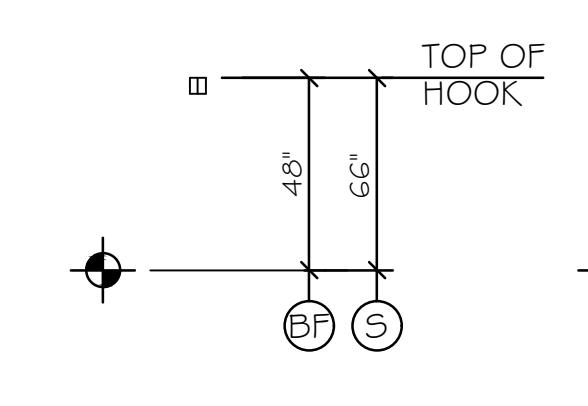
TOWEL DISPENSER  
DISPOSAL UNIT  
NTS



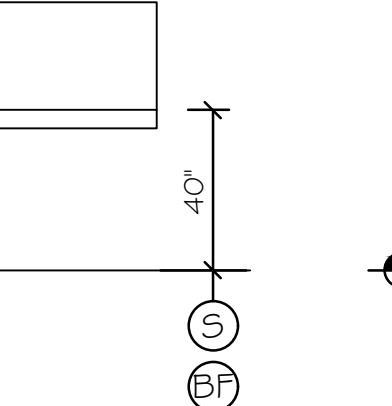
ELECTRICAL & FIRE PROTECTION DEVICES  
TYPICAL UNLESS NOTED OTHERWISE  
NTS



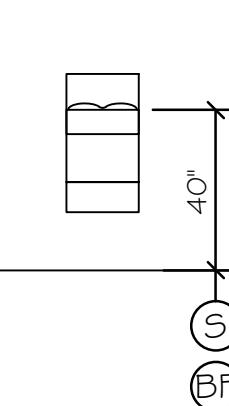
MIRROR OR MEDICINE CABINET  
NTS



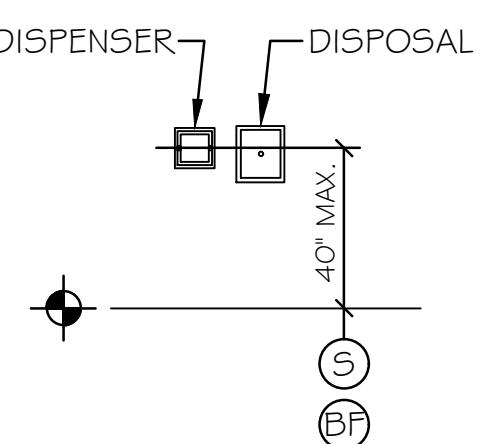
CLOTHES HOOK  
NTS



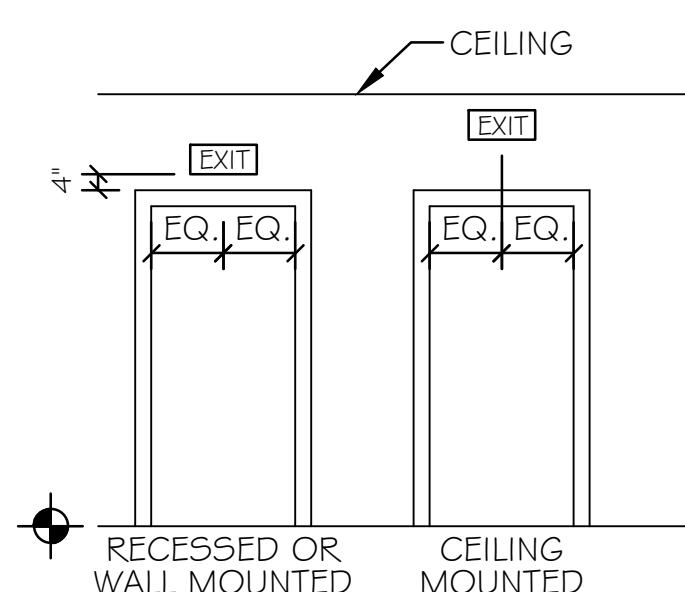
BABY CHANGE  
STATION  
NTS



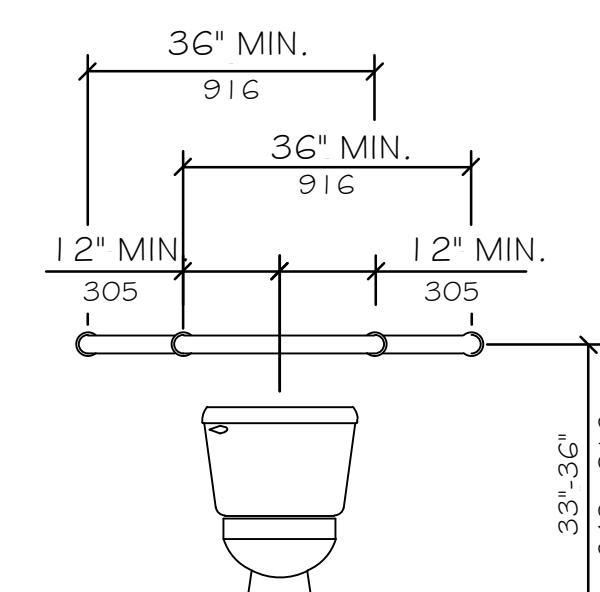
HAND DRYER  
NTS



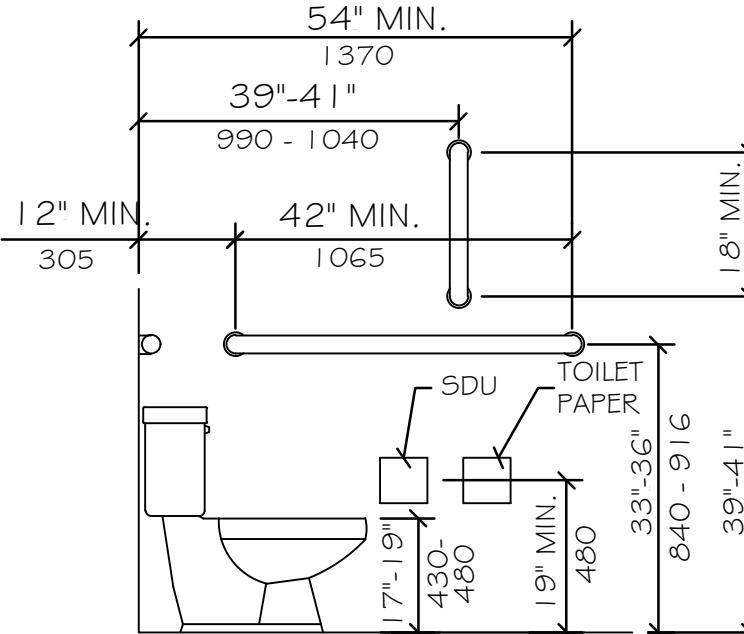
TOILET PAPER  
DISPENSER &  
SANITARY  
DISPOSAL UNIT  
NTS



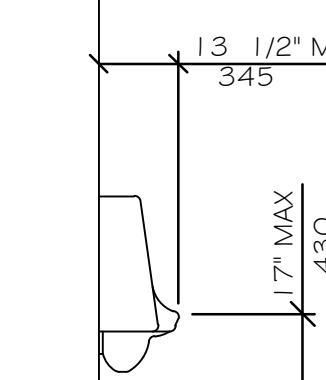
EXIT SIGNS  
(TYPICAL UNLESS OTHERWISE NOTED)  
NTS



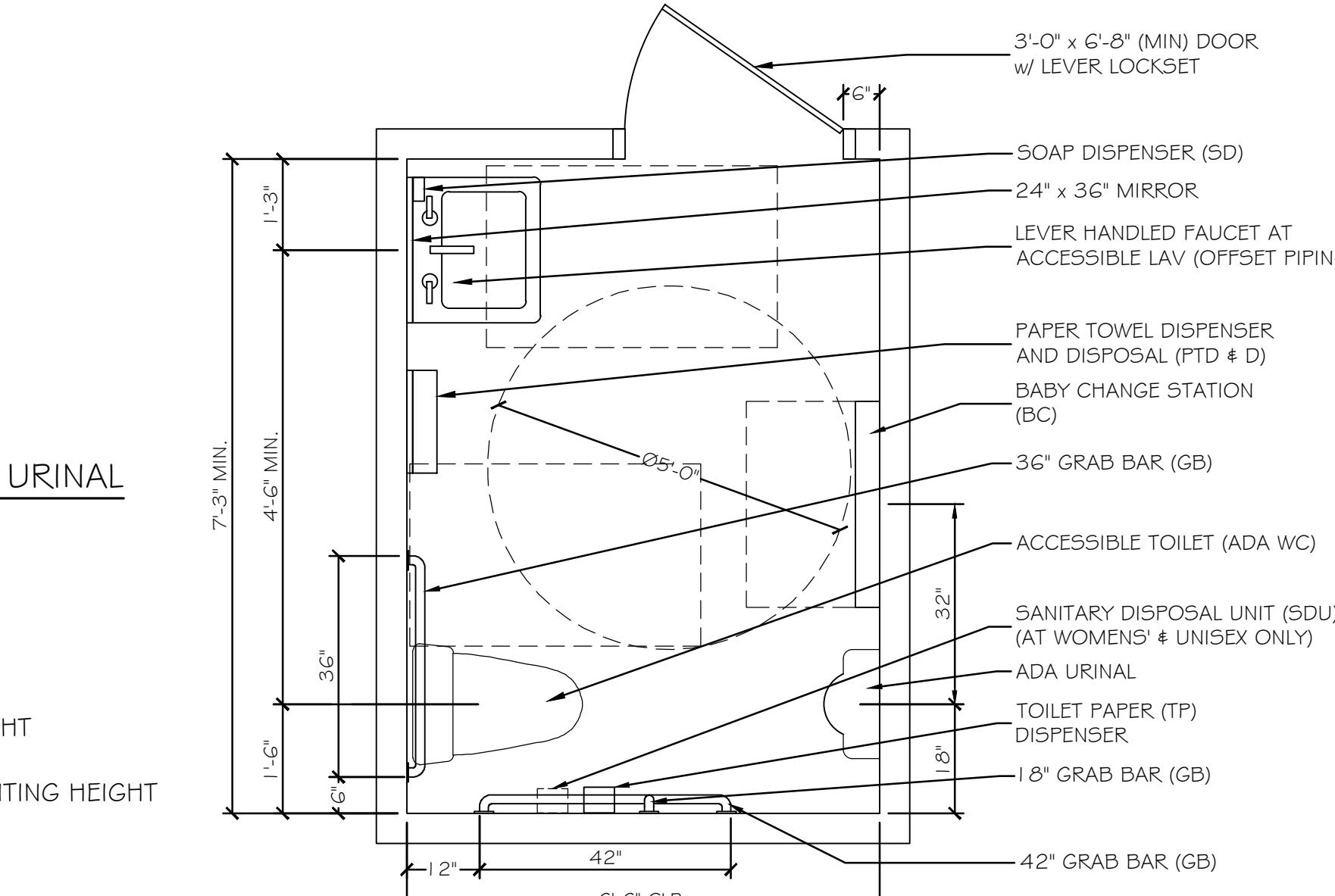
GRAB BARS AT WATER CLOSETS  
NTS



HEIGHT AND DEPTH OF URINAL  
NTS



WALL HUNG TYPE  
NTS



TYPICAL ACCESSORIES  
NTS

## ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

GRAB BARS	33"-36"
TOILET PAPER HOLDER	19" MIN
TOWEL BAR/PAPER TOWEL DISPENSER	48" MAX
BUILT IN PAPER TOWEL DISPENSER	48" MAX
SOAP DISH/DISPENSER AT WALL	48" MAX
MIRROR (BOTTOM OF REFLECTIVE SURFACE)	19" MAX
SHelves/STORAGE	40" MAX
ELECTRICAL SWITCHES/OUTLETS	48" MAX
COAT HOOKS/RODS	48" MAX
SIGNAGE (TO BRAILLE COMPONENT)	60" MAX

## ACCESSIBILITY GENERAL NOTES

- DOORWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WITH THE DOOR OPEN 90 DEGREES. MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL DOORS SHALL HAVE LEVER HANDLE HARDWARE, EXCEPT AT SECURED STORAGE ROOMS, MECHANICAL ROOMS, AND ELEVATOR MACHINE ROOMS.
- ALL CLOSERS SHALL BE 5LB PULL MAXIMUM AT DOORS EQUIPPED WITH LEVER HANDLE HARDWARE.
- ALL DOORS WITH CLOSERS SHALL HAVE 18" CLEAR DISTANCE FROM THE LATCHSIDE OF THE OPENING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PULL SIDE OF THE OPENING.
- ALL DOORS WITH CLOSERS SHALL HAVE 12" CLEAR DISTANCE FROM THE LATCHSIDE OF THE OPENING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PUSH SIDE OF THE OPENING.
- ALL SIGNAGE SHALL BE MOUNTED 60" AFF TO BRAILLE COMPONENT AT LATCH-SIDE WALL OF DOORS AND OPENINGS.
- COMPLY WITH CURRENT EDITION OF THE AMERICANS WITH DISABILITIES ACT.
- ALL WC FLUSH CONTROLS SHALL BE LOCATED ON THE TRANSFER SIDE OF FIXTURE.

Scale: NO SCALE

Designed by:

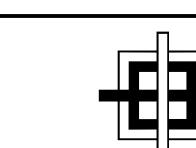
Michael F. Hays, RA



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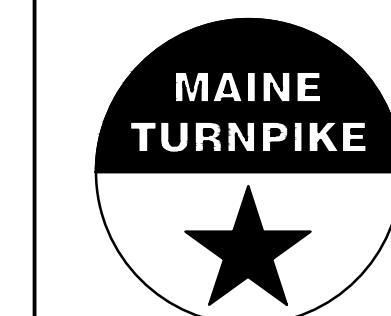
No.	Revision	By	Date

Designed	By	Date	Checked	By	Date
	MFH	02/26/24		MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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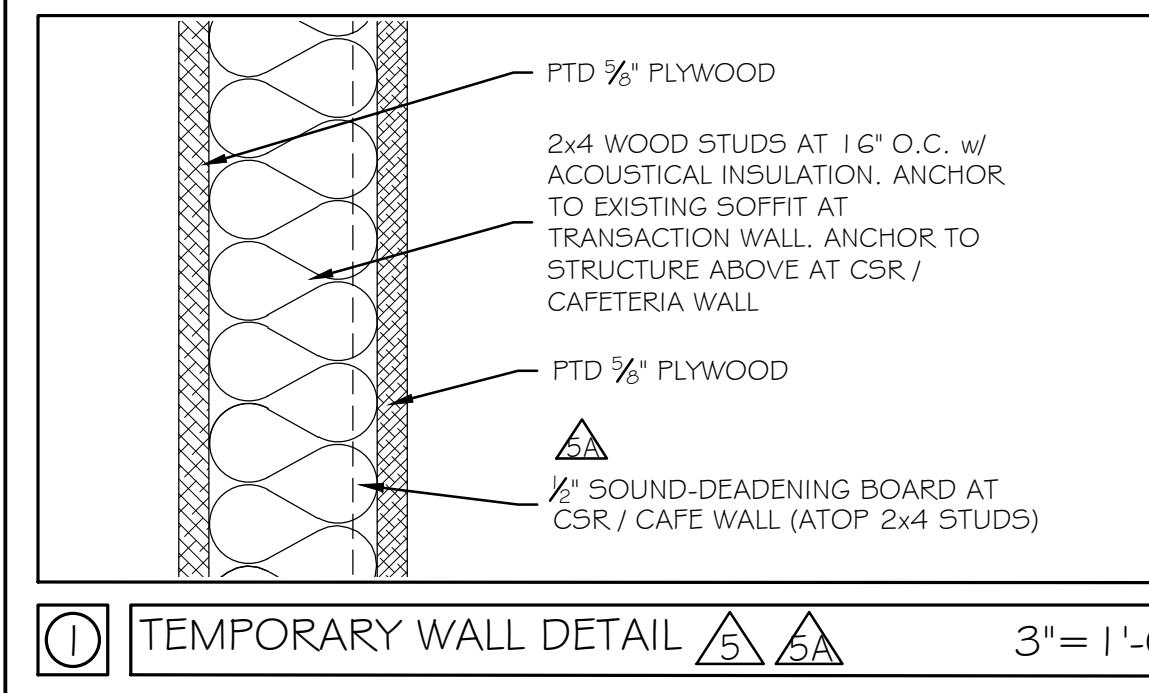
MTA PROJECT MANAGER: JACQUELINE HANSEN

THE GOLD STAR  
MEMORIAL HIGHWAY

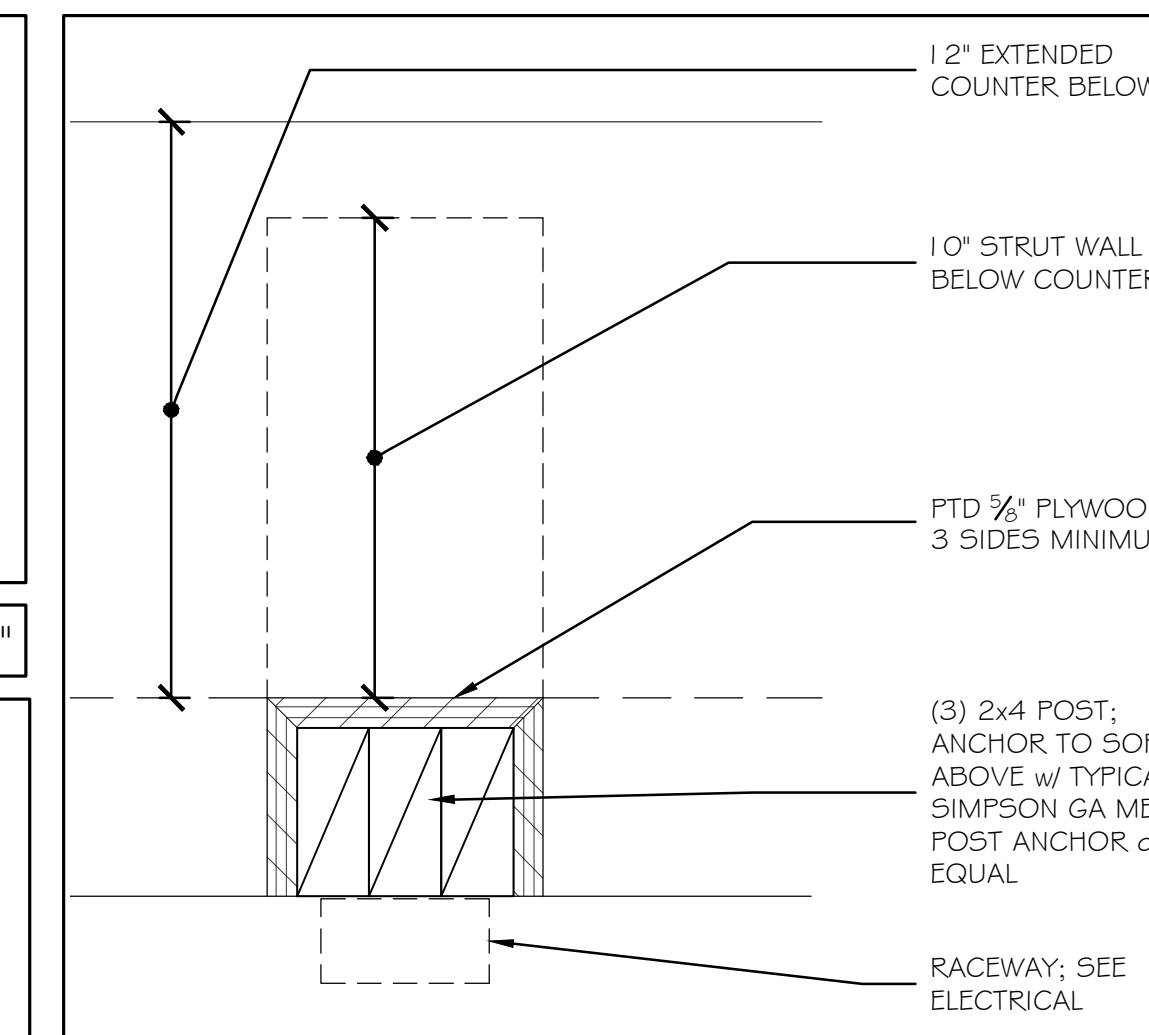
MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
ACCESSIBILITY DETAILS & NOTES

SHEET NUMBER: A-17

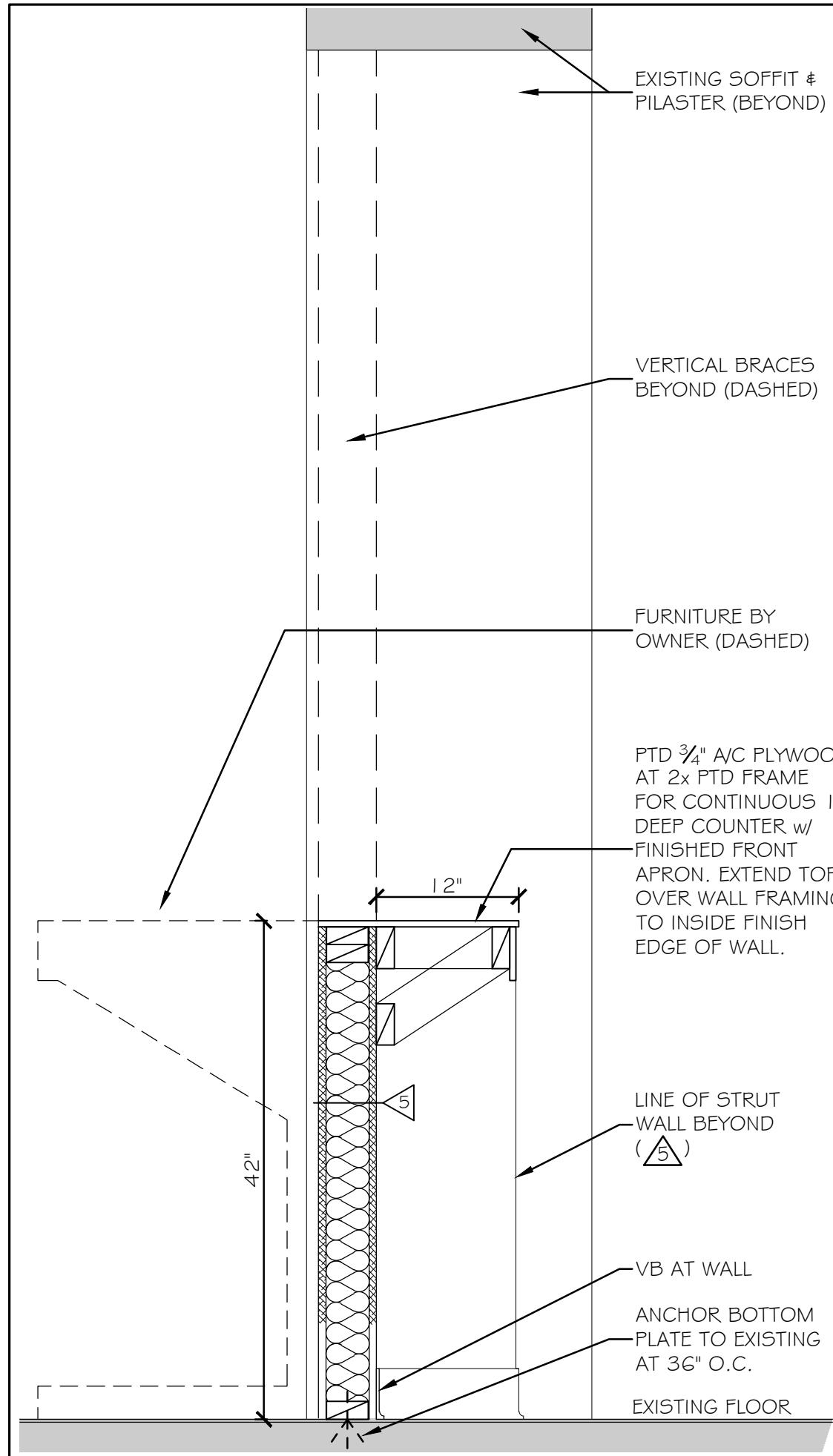
29 OF 70



① TEMPORARY WALL DETAIL 5 3" = 1'-0"



④ SUPPORT POST DETAIL 3" = 1'-0"



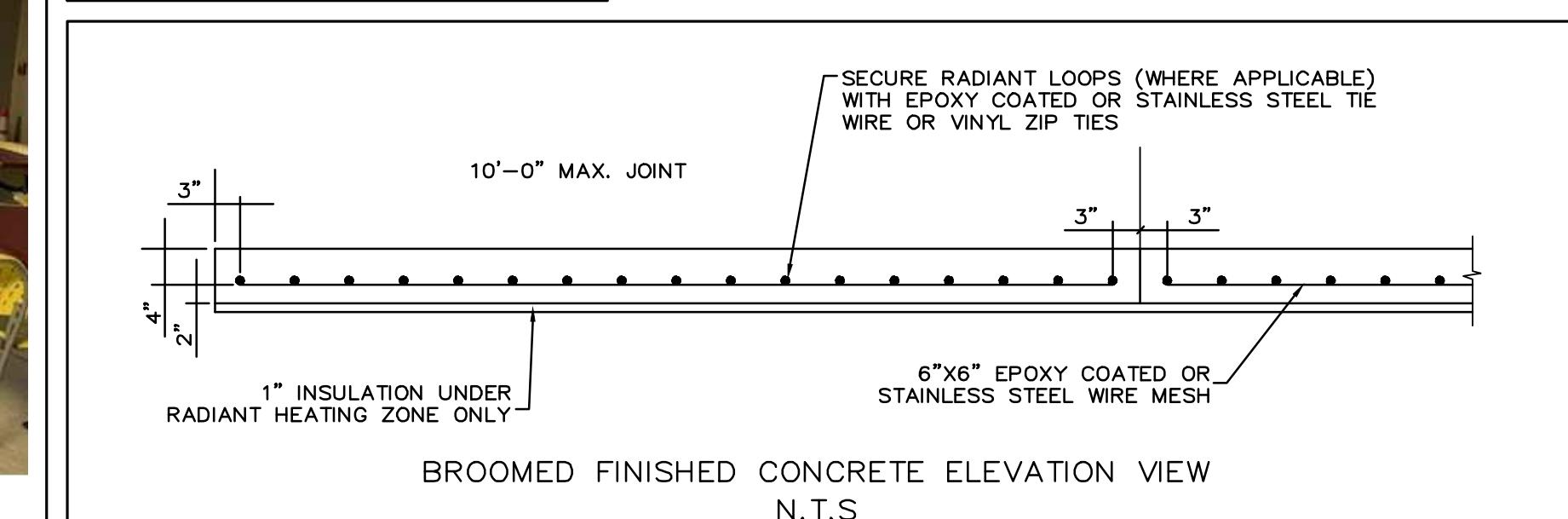
⑤ VIEW AT BREAK ROOM DOOR 170



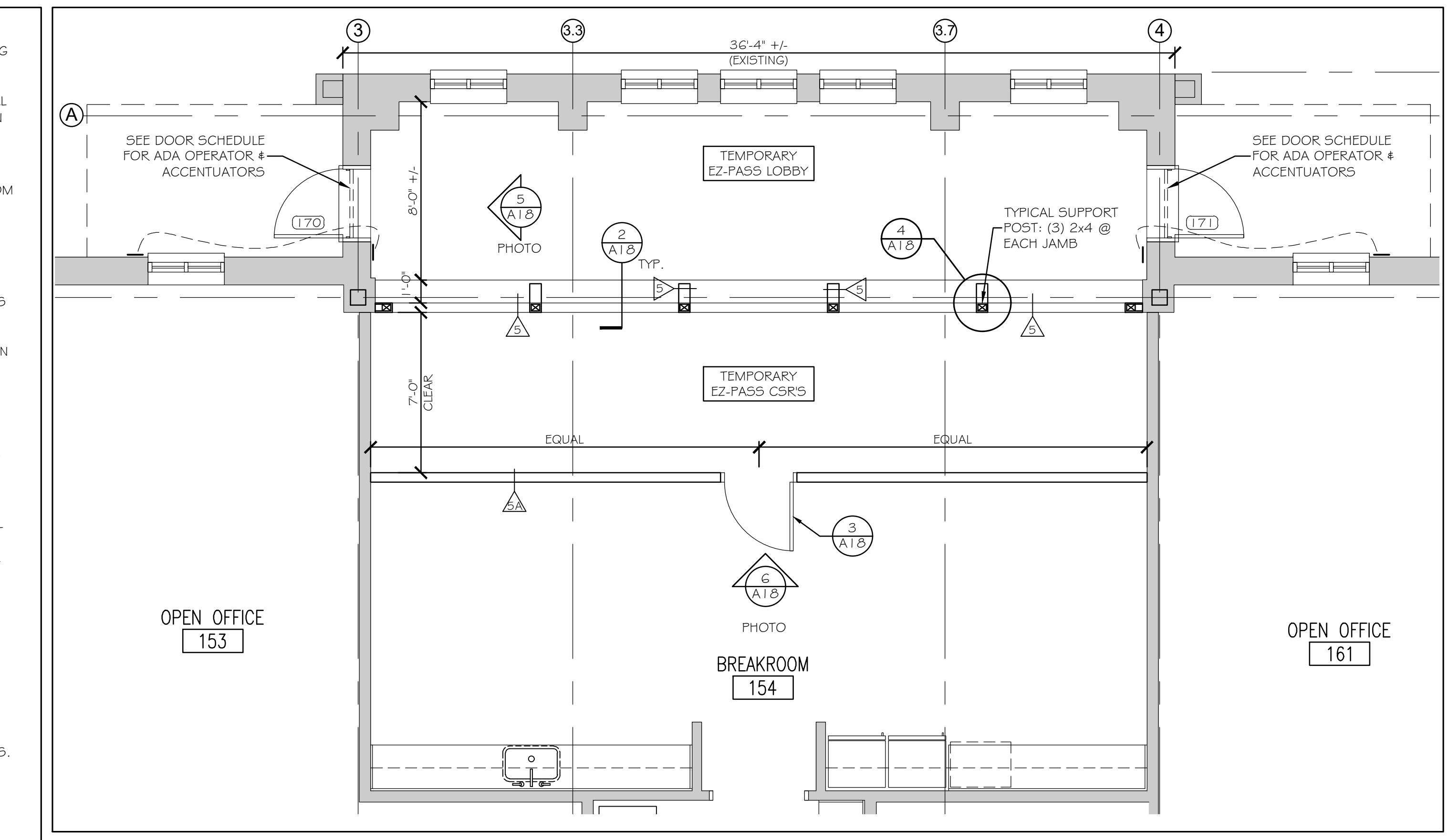
⑥ VIEW FROM BREAK ROOM TO TEMP. EZ PASS RETAIL

1. THE OWNER WILL REMOVE EXISTING FURNISHING IN THE AREA OF THE TEMPORARY EZ-PASS RETAIL LOCATION. OWNER WILL REINSTALL FURNISHINGS AT THE COMPLETION OF THE WORK.
2. ERECT DUST PARTITION DURING INITIAL CONSTRUCTION OF TEMPORARY WALLS IN BREAK ROOM FOR EZ-PASS RETAIL AREA.
3. PROTECT EXISTING FLOOR FINISHES DURING CONSTRUCTION AND REMOVAL OPERATIONS.
4. PATCH AND PAINT (PP) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL AND/OR ELECTRICAL WORK IS PERFORMED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
5. REPLACE SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID COMPONENTS DAMAGED OR SOILED DURING CONSTRUCTION AND REMOVAL OPERATIONS. MATCH EXISTING.
6. REPAT ENTIRE EXISTING SOFFIT AND WALL PILASTERS ONCE EZ-PASS RETAIL TRANSACTION WINDOW WALL HAS BEEN REMOVED.
7. REPLACE ALL EXISTING VCT FLOORING UNDER REMOVED TEMPORARY PARTITIONS ANCHORS. UTILIZE OWNER'S MAINTENANCE STOCK OR NEW COLOR-MATCH PRODUCT.
8. CLEAN AND POLISH ENTIRE BREAK ROOM FLOOR ONCE TEMPORARY EZ-PASS RETAIL AREA IS NO LONGER NEEDED. THE OWNER WILL REMOVE AND REINSTALL EXISTING FURNITURE (BOOTHES, TABLES & CHAIRS).
9. PARTITION TYPE 5 SHALL HAVE SIX (6) QUAD OUTLETS AND SIX (6) DATA BOXES FACING THE CSR SIDE OF THE WALL. REFER TO ELECTRICAL DRAWINGS.
10. PROVIDE ELECTRICAL POWER AND DATA IN THE EXISTING EXTERIOR WALL FOR THE OWNER'S ATM MACHINE. SEE ELECTRICAL DRAWINGS. COORDINATE LOCATION WITH THE OWNER.

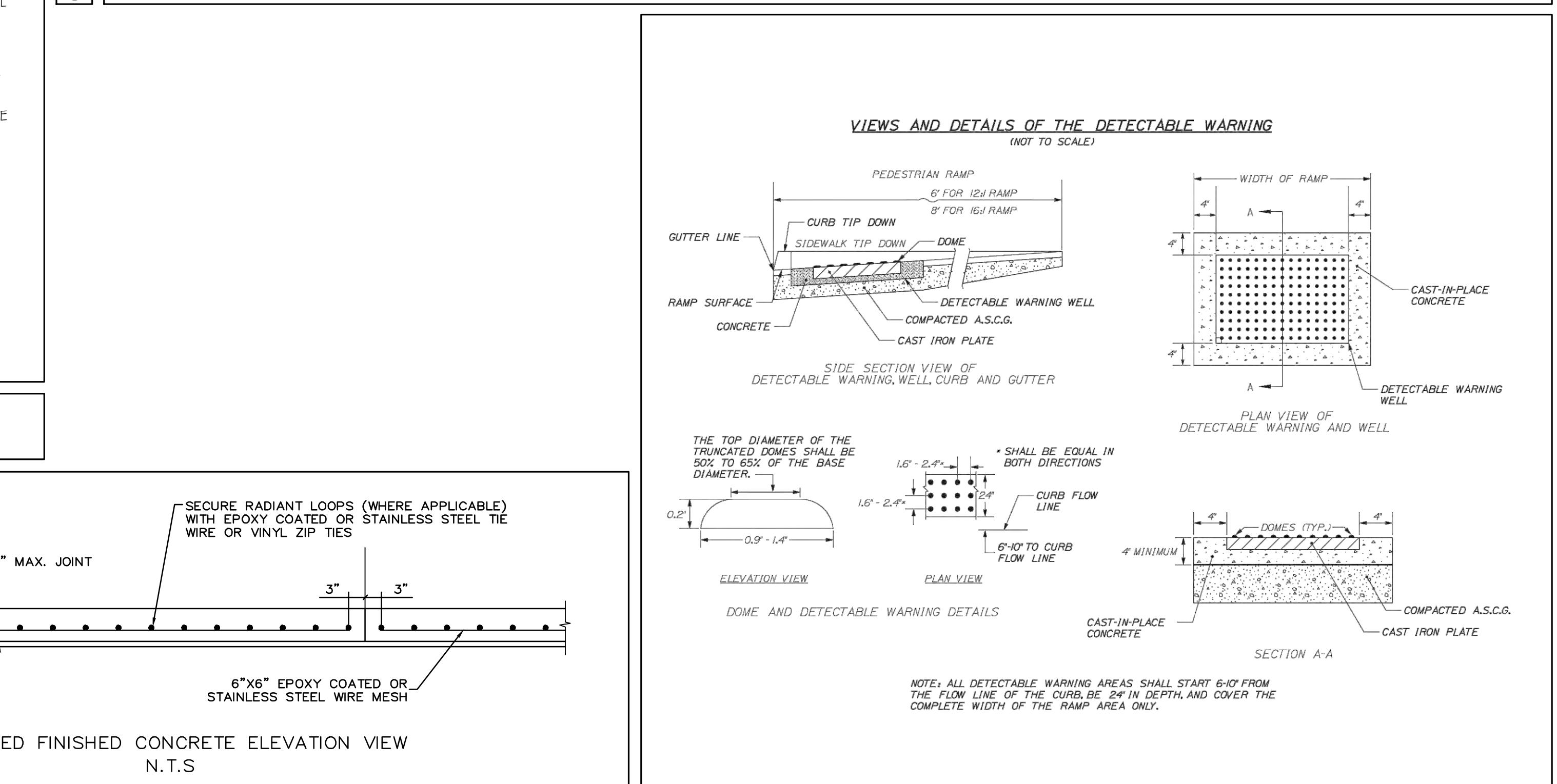
TEMPORARY EZ-PASS RETAIL AREA NOTES



⑦ BROOME FINISHED CONCRETE SLAB



⑧ TEMPORARY EZ-PASS RETAIL AREA PLAN - 1ST FLOOR



⑧ DETECTABLE WARNING DETAIL

NO SCALE

Scale: AS NOTED

Designed by:

Michael F. Hays, RA



CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No. Revision By Date

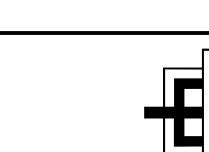
2 ADDENDUM 2 MFH 3/19/24

Designed By Date

Drawn By Date

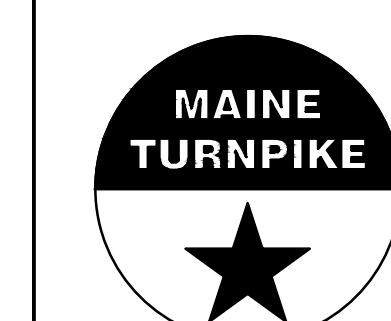
Drawn MGK 02/26/24

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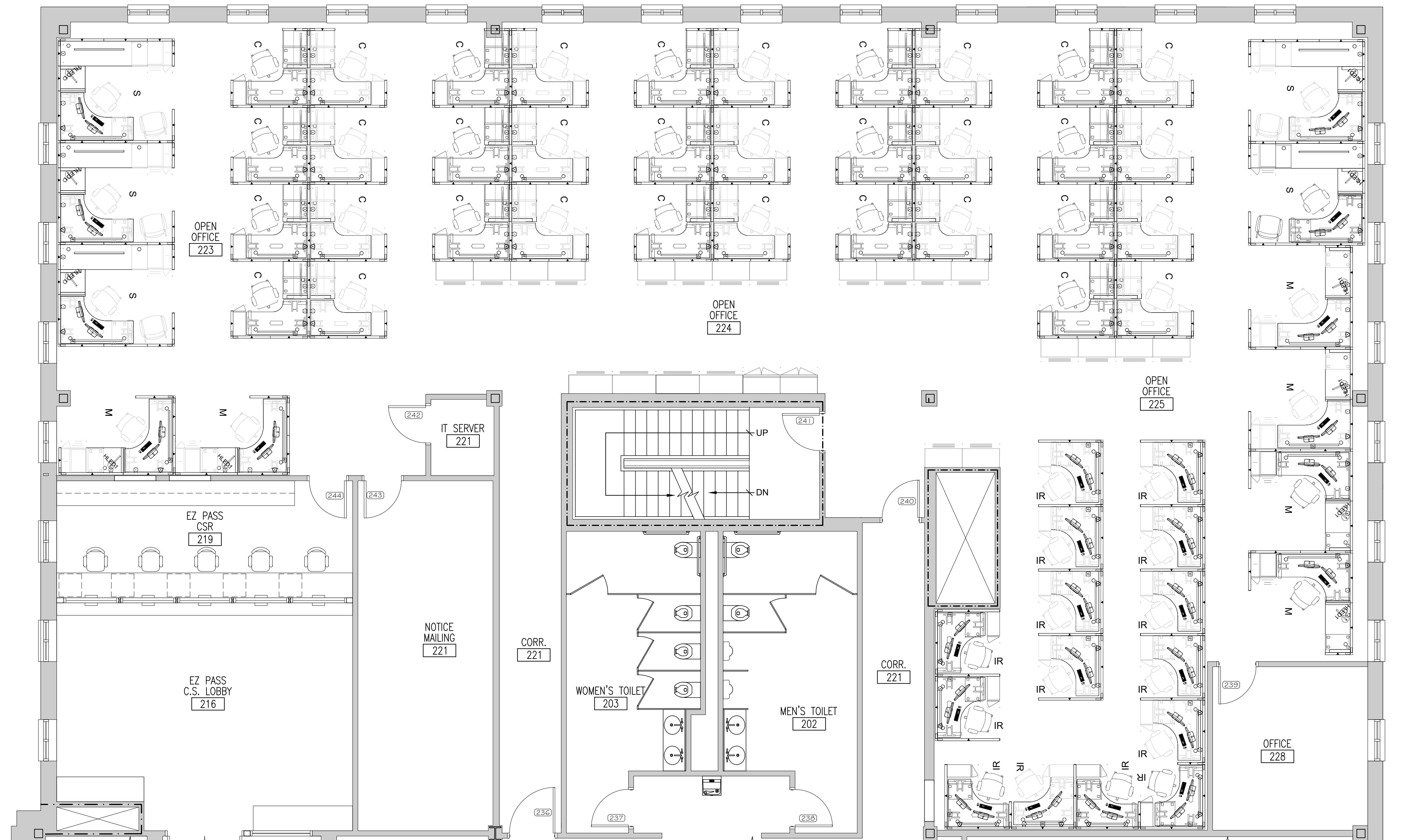
MTA PROJECT MANAGER: JACQUELINE HANSEN

THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
TEMPORARY EZ-PASS CUSTOMER SERVICE  
PLAN & DETAILS

SHEET NUMBER: A-18

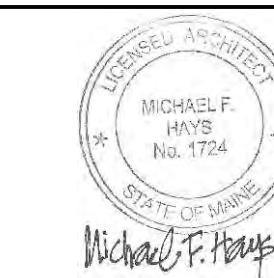
30 OF 70



Scale: 1/4"=1'-0"

Designed by:

Michael F. Hays, RA



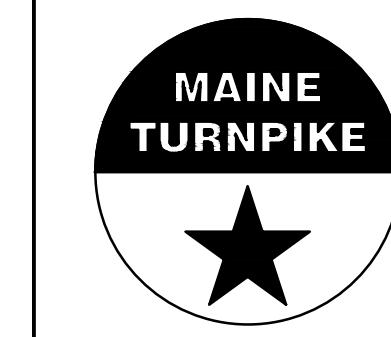
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

No.	Revision	By	Date

	By	Date	By	Date	
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		

GRANT HAYS  
ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN  
P.O. BOX 6179 FALMOUTH MAINE 04105  
207.871.5900 [www.granthays.com](http://www.granthays.com)



THE GOLD STAR  
MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
CALL CENTER FURNITURE PLAN

SHEET NUMBER: A-19

31 OF 70

PLUMBING FIXTURE SCHEDULE									
TAG	DESCRIPTION	BRANCH SIZES			NOTES				
		CW	HW	VENT					
WC-1	WATER CLOSET-FLUSH VALVE, FLOOR MOUNT	1"	---	2"	3"				
U-1	URINAL	3/4"	---	1-1/2"	2"				
P-1	LAVATORY, WALL HUNG	1/2"	1/2"	1-1/2"	1-1/2"				
P-2	SINGLE BOWL SINK-UNDERMOUNT	1/2"	1/2"	1-1/2"	1-1/2"				
P-3	DOUBBLE BOWL SINK-UNDERMOUNT	1/2"	1/2"	1-1/2"	1-1/2"				
FD-1	LIGHT DUTY FLOOR DRAIN	1/2"	---	1-1/2"	2"				

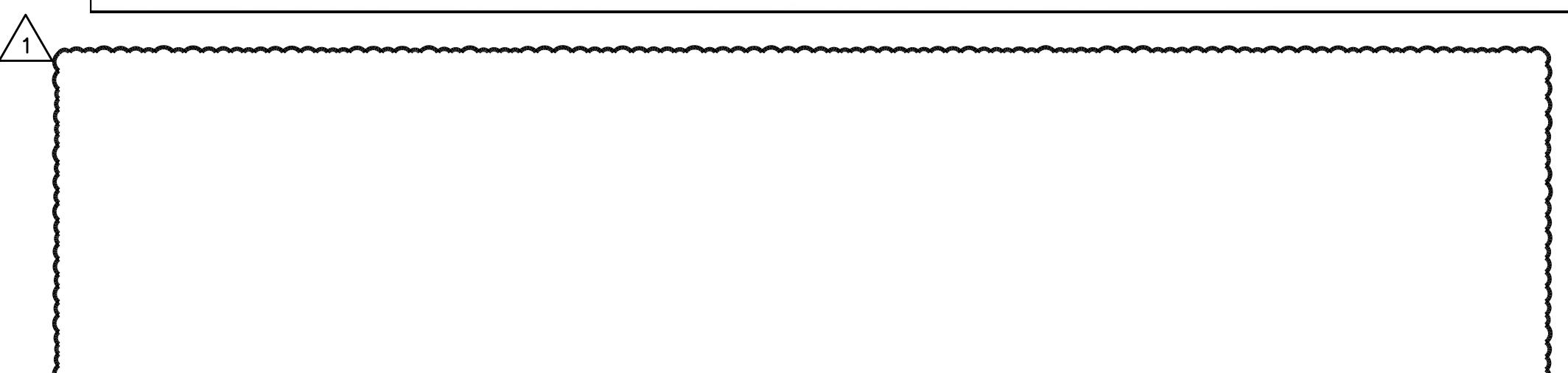
BRAZED PLATE HEAT EXCHANGER SCHEDULE													
TAG	MFR-MODEL	TYPE	SOURCE FLUID				HEATED FLUID						
			GPM	FLUID	E.W.T. DEG F	L.W.T. DEG F	P.D. (PSI)	GPM	FLUID	E.W.T. DEG F	L.W.T. DEG F	P.D. (PSI)	MBH
HX-2	HEXONIC - LB60-50H-1"-UM	PLATE	10	WATER	140	120	3.6	8.6	40% P.G.	112	137	3.6	99
NOTES:													

HYDRONIC PUMP SCHEDULE													
TAG	SYSTEM	MFR.	MODEL	SUCTION DISCH.	TYPE	PUMPED FLUID	PERFORMANCE		ELECTRICAL COORDINATION			NOTES	
							GPM	HEAD	MOTOR	VOLTS/PH (60 Hz)	STARTER TYPE	STARTER FURN. BY	
P-3A	SNOW MELT	TACO	0026e	1 1/4" X 1 1/4"	ECM	40% PG	10	25	120 W	120/1	NA	----	DIV 26
NOTES:													

REGISTERS - GRILLES - DIFFUSERS (RGD) SCHEDULE											
TAG	MFR.	MODEL	TYPE		NECK SIZE	FACE SIZE	MAX CFM	MAX TOTAL P.D. (IN W.C.)	MAX NC LEVEL	BLOW	NOTES
			GPM	HEAD							
S-1	PRICE	SMDA	SQ. CEILING SUPPLY DIFFUSER, ADJUSTABLE		9 X 9 / 8" DIA	24" X 24"	215	0.09"	20		ROUND NECK ADAPTER
S-2	PRICE	520	STEEL DOUBLE DEFLECTION SUPPLY DIFFUSER		12" X 10"	13.75" X 11.75"	500	0.10"	26	ADJUSTABLE	
R-1	PRICE	530	STEEL RETURN, 3/4" SPACING, 45 DEG VANES		12" X 12"	13.75" X 13.75"	220	0.05"	20	-----	
R-2	PRICE	530	STEEL RETURN, 3/4" SPACING, 45 DEG VANES		22" X 22"	23.75" X 23.75"	900	0.05"	20	-----	
R-3	PRICE	530	STEEL RETURN, 3/4" SPACING, 45 DEG VANES		16" X 10"	17.75" X 11.75"	450	0.07"	24	-----	
E-1	PRICE	530	STEEL EXHAUST, 3/4" SPACING, 45 DEG VANES		8" X 8"	9.75" X 9.75"	100	0.05"	20	-----	

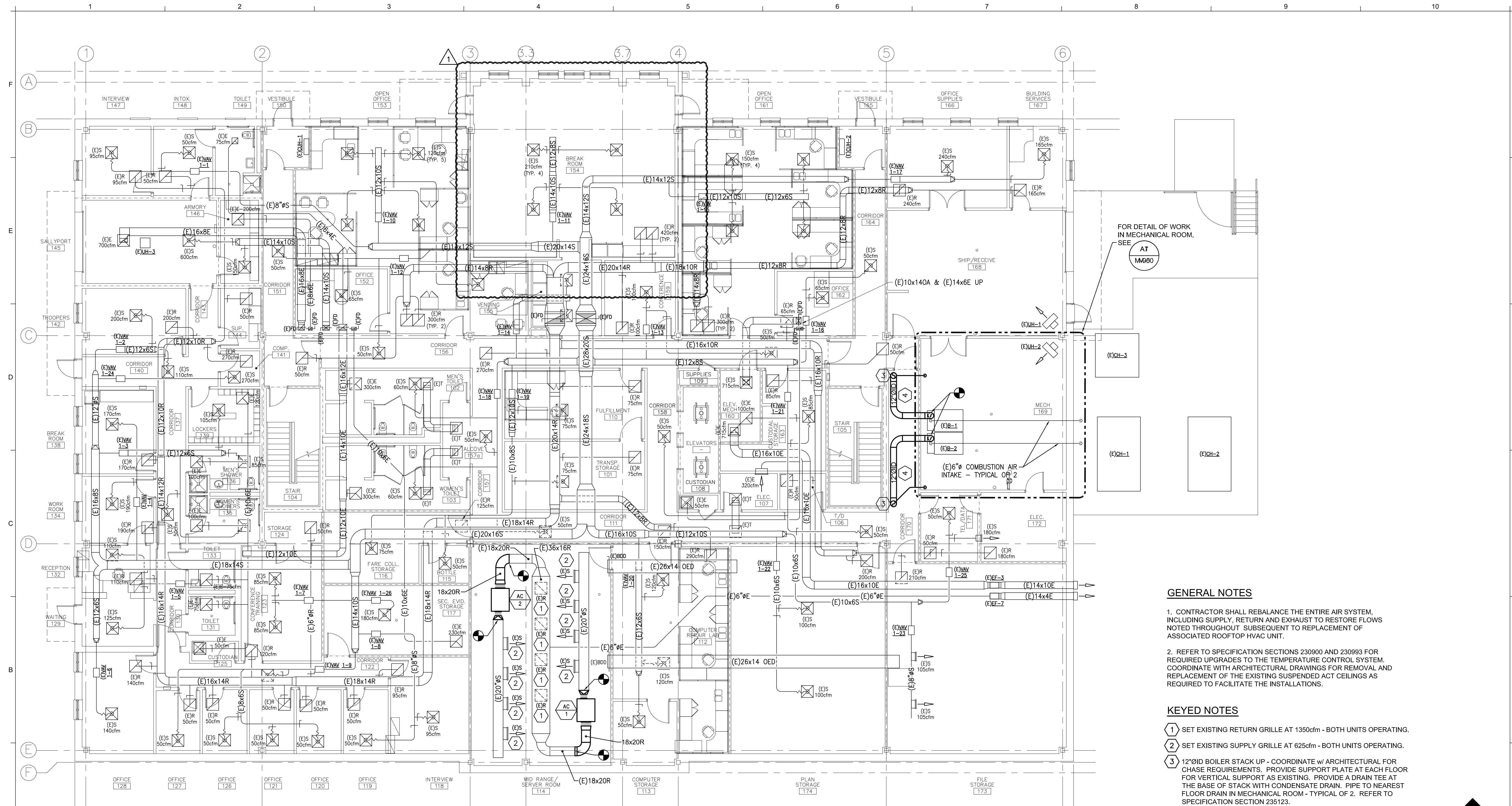
FAN SCHEDULE											
TAG	SERVES	MFR.	MODEL	TYPE	DRIVE	CFM	SP (IN. W.C.)	ELECTRICAL			NOTES
								MOTOR BHP	MOTOR HP	STARTER / CONTROLLER TYPE	
EF-2R	ELEC ROOMS/BATHROOM	GREENHECK	CUE-160-VG	ROOF UPBLAST	DIRECT	1,755	.75"	0.37	0.50	ECM	ECM - FAN MFR
										FAN MFR	120/1/60
											10.8
											76
											MOD

RADIANT SNOW MELT - CIRCUIT SCHEDULE (Based on WATTS)														
MANIFOLD ZONE	AREA SERVED	CONSTRUCTION	APPROX. AREA (SF)	PANEL HEAT LOAD (MBH)	CIRCUIT QTY	APPROXIMATE CIRCUIT LENGTH (ft)	FLOW RATE (GPM) Ea.Circuit /Total	SUPPLY TEMP (°F)	TEMP DROP (°F)	AVE. SURFACE TEMP (°F)	HEAD (FT)	FLUID	TUBE SPACING (in)	TUBING
SMM-3R	SNOW MELT AT ENTRY (REPLACES EXISTING SYSTEM)	6" CONC SLAB	360	54	2	285	2.4/ 4.8	137	25	45	9.9	40% P.G.	9	3/4" RADIANT PEX+
SMM-3R	SNOW MELT AT EXTENDED SLAB AREA	6" CONC SLAB	290	43	2	250	1.9/3.8	137	25	45	9.9	40% P.G.	9	3/4" RADIANT PEX+
NOTES:														
1. CIRCUIT LENGTHS ARE APPROXIMATE; SUPPLIER SHALL COORDINATE AND CONFIRM REQUIRED LENGTHS.														



ROOF TOP AIR HANDLING UNIT SCHEDULE											
GENERAL	UNIT NO.	RTU-1	RTU-2	AHU-3							
	LOCATION	ROOF	ROOF	YORK							

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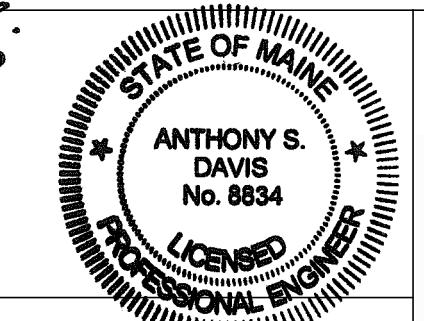


A1 MECHANICAL PLAN - FIRST FLOOR  
1/8" = 1'-0"

Scale: AS NOTED

Designed by:

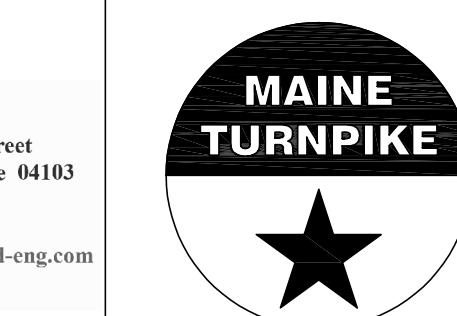
ANTHONY S. DAVIS, P.E.



ANTHONY S. DAVIS  
No. 8834  
LICENSED PROFESSIONAL ENGINEER

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THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
MECHANICAL PLAN  
- FIRST FLOOR

SHEET NUMBER: MH-1

38 OF 70

#### GENERAL NOTES

1. CONTRACTOR SHALL REBALANCE THE ENTIRE AIR SYSTEM, INCLUDING SUPPLY, RETURN AND EXHAUST TO RESTORE FLOWS NOTED THROUGHOUT SUBSEQUENT TO REPLACEMENT OF ASSOCIATED ROOFTOP HVAC UNIT.

2. REFER TO SPECIFICATION SECTIONS 230900 AND 230993 FOR REQUIRED UPDATES TO THE TEMPERATURE CONTROL SYSTEM. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR REMOVAL AND REPLACEMENT OF THE EXISTING SUSPENDED ACT CEILINGS AS REQUIRED TO FACILITATE THE INSTALLATIONS.

#### KEYED NOTES

① SET EXISTING RETURN GRILLE AT 1350cfm - BOTH UNITS OPERATING.

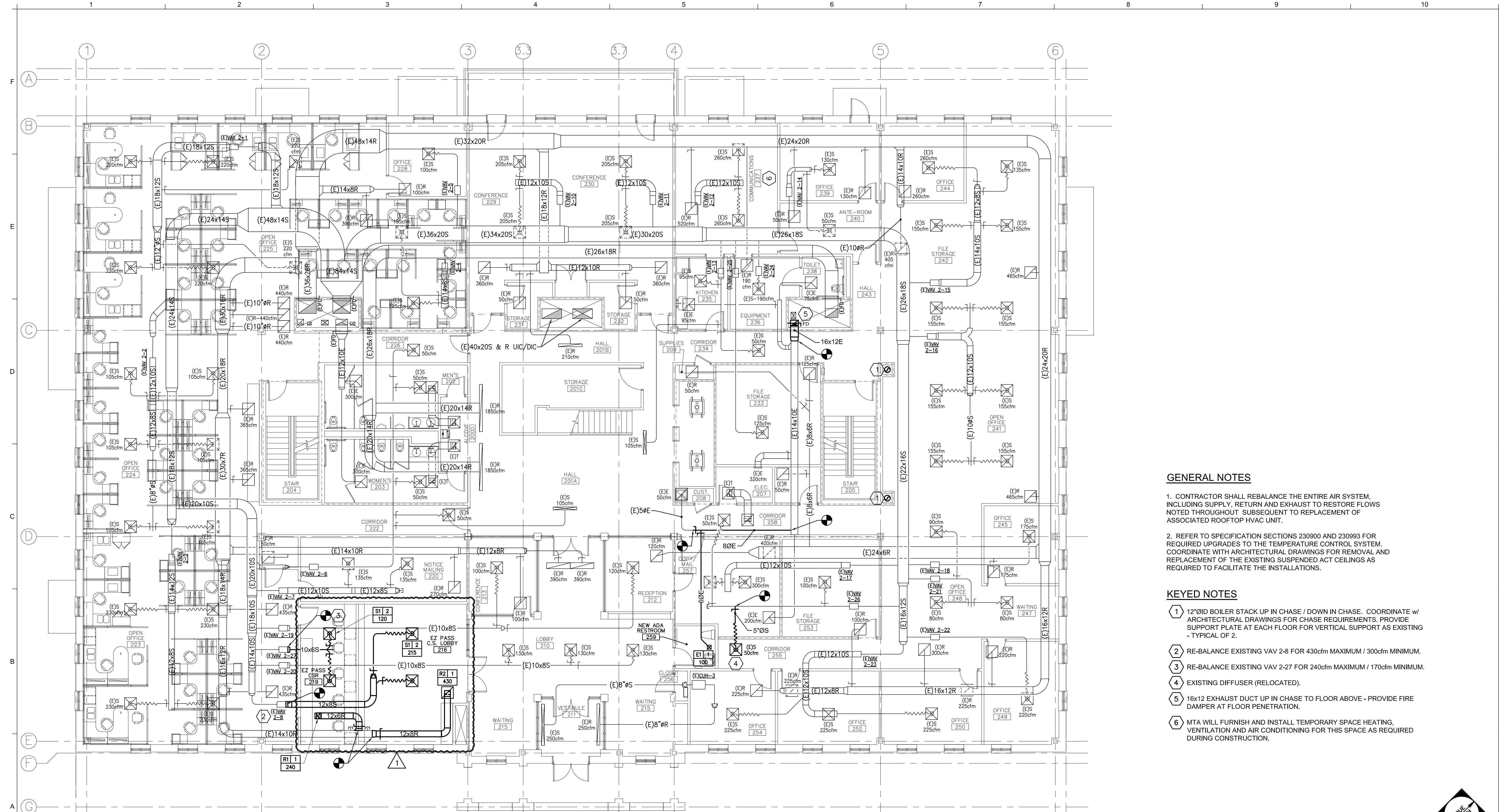
② SET EXISTING SUPPLY GRILLE AT 625cfm - BOTH UNITS OPERATING.

③ 12"ØID BOILER STACK UP - COORDINATE w/ ARCHITECTURAL FOR CHASE REQUIREMENTS. PROVIDE SUPPORT PLATE AT EACH FLOOR FOR VERTICAL SUPPORT AS EXISTING. PROVIDE A DRAIN TEE AT THE BASE OF STACK WITH CONDENSATE DRAIN. PIPE TO NEAREST FLOOR DRAIN IN MECHANICAL ROOM - TYPICAL OF 2. REFER TO SPECIFICATION SECTION 235123.

④ PITCH HORIZONTAL BREECHING 1/4" PER FOOT BACK TO BOILERS, MINIMUM.



PLAN NORTH



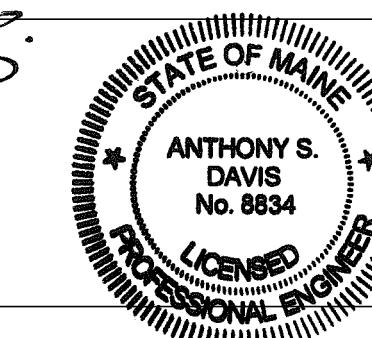
A1 MECHANICAL PLAN - SECOND FLOOR

1/8" = 1'-0"

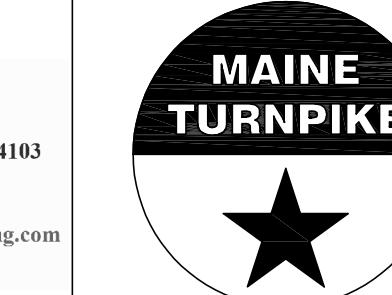
Scale: AS NOTED

Designed by:

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THE GOLD STAR  
MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
MECHANICAL PLAN  
- SECOND FLOOR

SHEET NUMBER: MH-2

39 OF 70

No. Revision By Date

Addendum No. 2 AEI 3/19/2024

CONSULTANT PROJECT MANAGER:

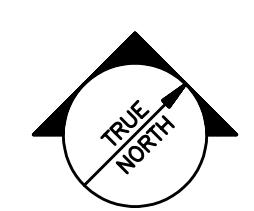
Designed By Date Checked By Date

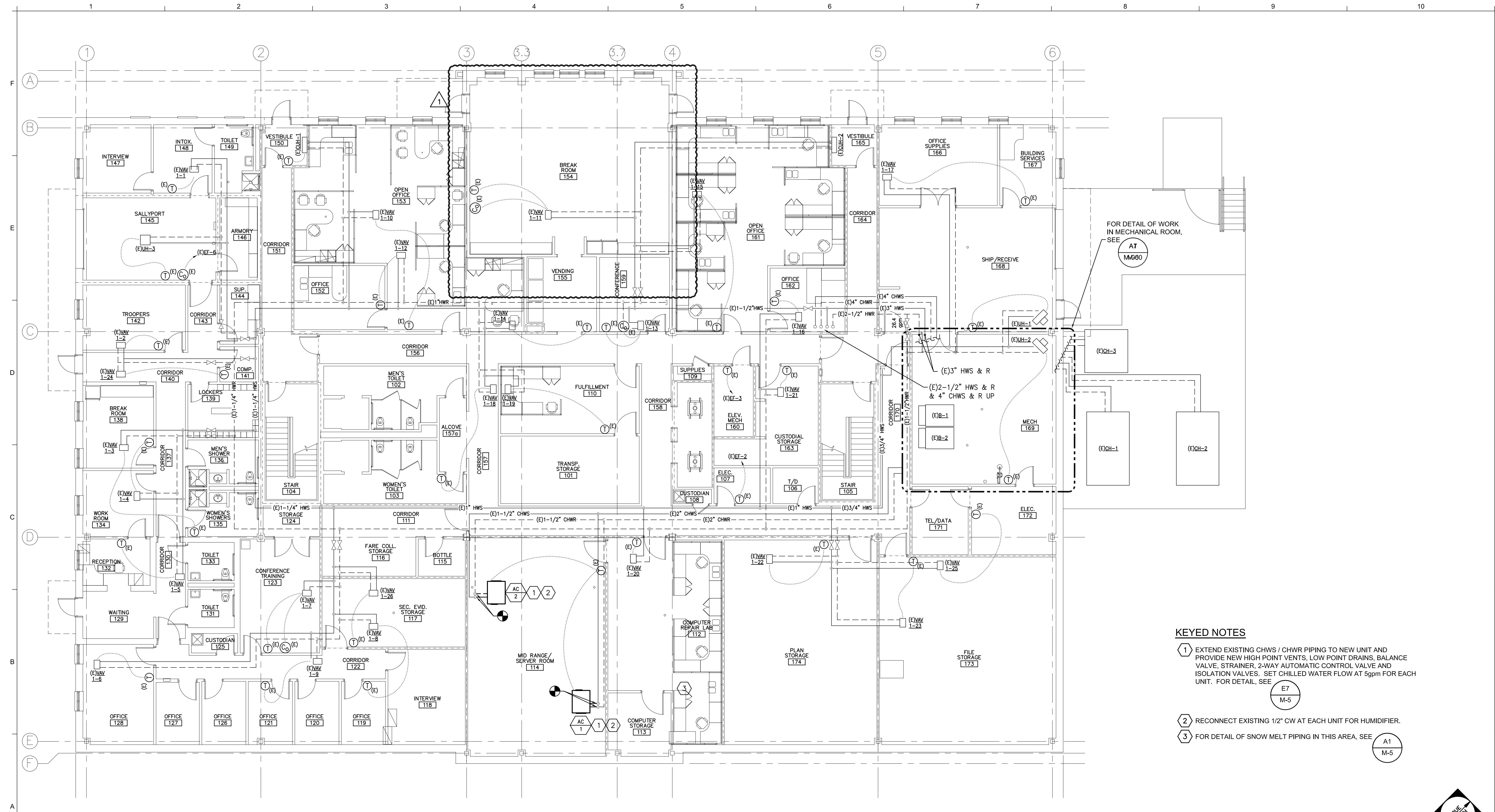
Drawn By Date In Charge of

AEI PROJECT No.: 22095

MTA PROJECT MANAGER: JACQUELINE HANSEN

CONTRACT: 2023.10





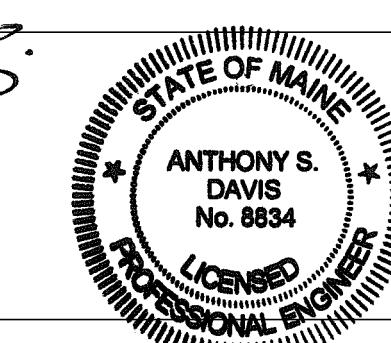
A1 MECHANICAL PIPING PLAN - FIRST FLOOR

1/8" = 1'-0"

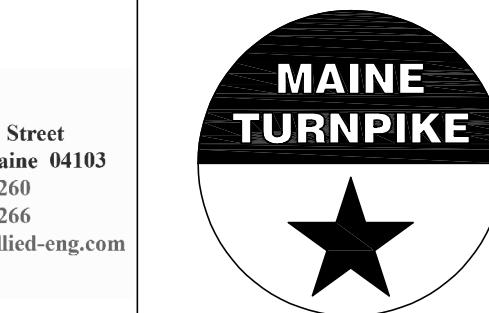
Scale: AS NOTED

Designed by:

ANTHONY S. DAVIS, P.E.



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## THE GOLD STAR MEMORIAL HIGHWAY

MTA HEADQUARTERS  
BUILDING IMPROVEMENTS PROJECT  
MECHANICAL PIPING PLAN  
- FIRST FLOOR

SHEET NUMBER: MP-1

42 OF 70

No. Revision By Date

1 Addendum No. 2 AEI 3/19/2024

CONSULTANT PROJECT MANAGER:

By Date

Designed ASD 02/26/2024

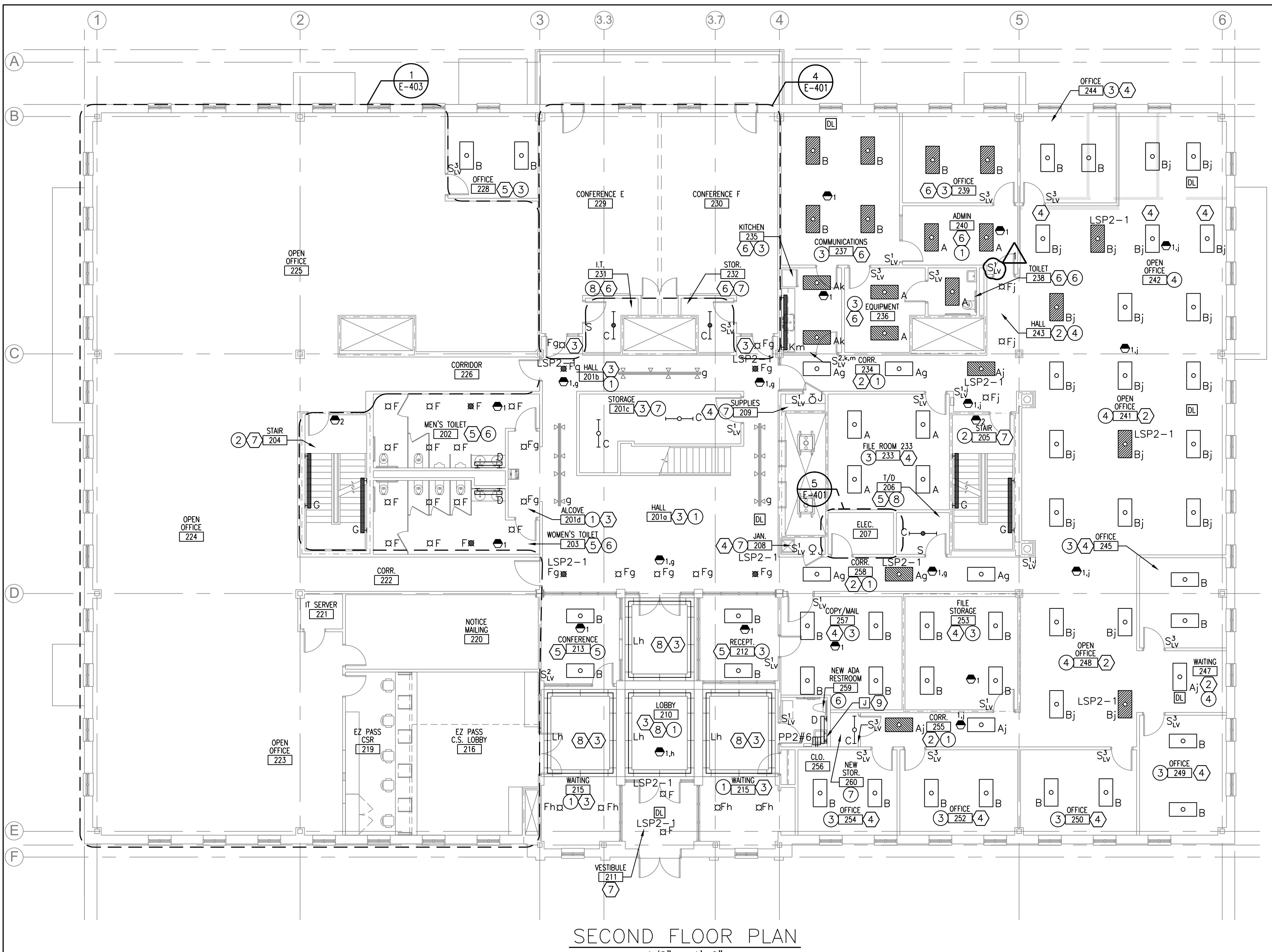
Drawn REW 02/26/2024

In Charge of

AEI PROJECT No.: 22095

MTA PROJECT MANAGER: JACQUELINE HANSEN

CONTRACT: 2023.10

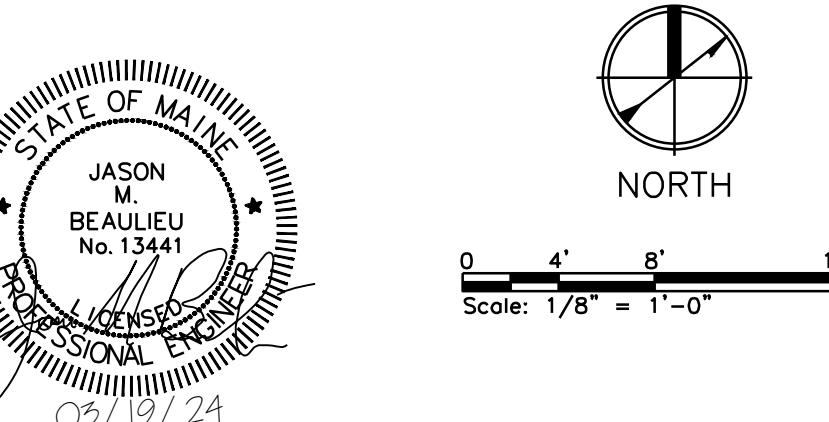


NOTES:

- 1. SEE E-001 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- 2. EXTEND EXISTING WIRING AND CONDUIT TO ALL NEW LIGHT FIXTURES.
- 3. CIRCUITING PROVIDED WAS REFERENCED FROM EXISTING DRAWING, PROJECT #06016 SHEET EL102. FIELD VERIFY ALL CIRCUITS.
- 4. SUSPENDED FIXTURES MUST BE HUNG AT SAME HEIGHT AS THE DEMOLISHED FIXTURE.

EYED NOTES:

- 1) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-1, UNLESS OTHERWISE NOTED.
- 2) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-2, UNLESS OTHERWISE NOTED.
- 3) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-3, UNLESS OTHERWISE NOTED.
- 4) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-4, UNLESS OTHERWISE NOTED.
- 5) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-6, UNLESS OTHERWISE NOTED.
- 6) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LSP2-3.
- 7) FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LSP1-1.
- 8) PROVIDE TAPE LIGHTING WITHIN EXISTING COVE FIXTURE HOUSING. SEE DETAILS ON E-501.
- 9) LOCATE JUNCTION BOX UNDER SINK FOR PLUMBING FIXTURE POWER SUPPLY. CIRCUIT TO BATHROOM GFCI RECEPTACLE



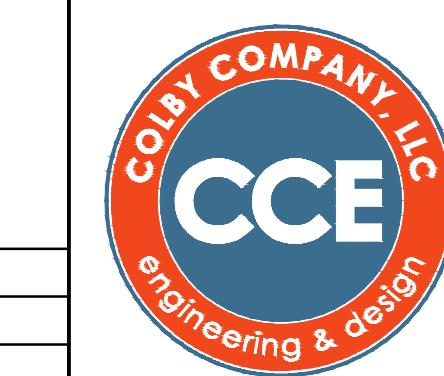
Scale: AS NOTED

Designed by:  
COLBY COMPANY, LLC  
Engineering & Design  
47A York Street, Portland, ME 04101  
207.553.7753

CONSULTANT PROJECT MANAGER: JASON B.

No.	Revision	By	Date
1	ADDENDUM 2	JMB	3/1/2023

Date	207.553.7753				
/19/24					
CONSULTANT PROJECT MANAGER: JASON BEAULIEU					
	By	Date		By	Date
Designed	JMB	04/21/23	Checked	JMB	04/21/23
Drawn	ACY	04/21/23	In Charge of		



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Portland, ME  
04101  
207.553.7753

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Portland, ME  
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A black and white graphic featuring a large five-pointed star in the lower right corner, with the words "MAIN TURNPIKE" in a bold, sans-serif font above it.

# THE GOLD STAR MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

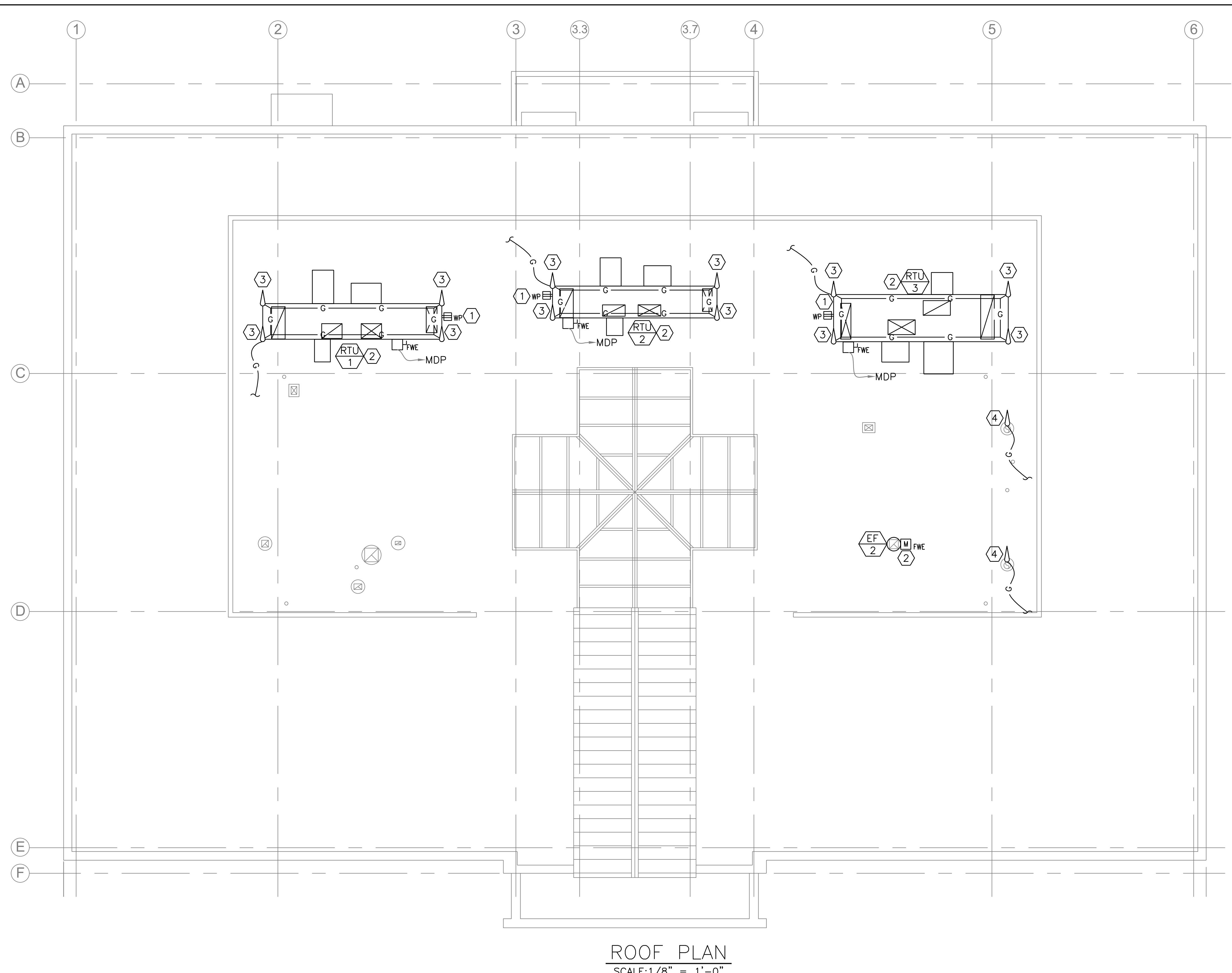
# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT

## SECOND FLOOR PLAN

SHEET NUMBER: E-102

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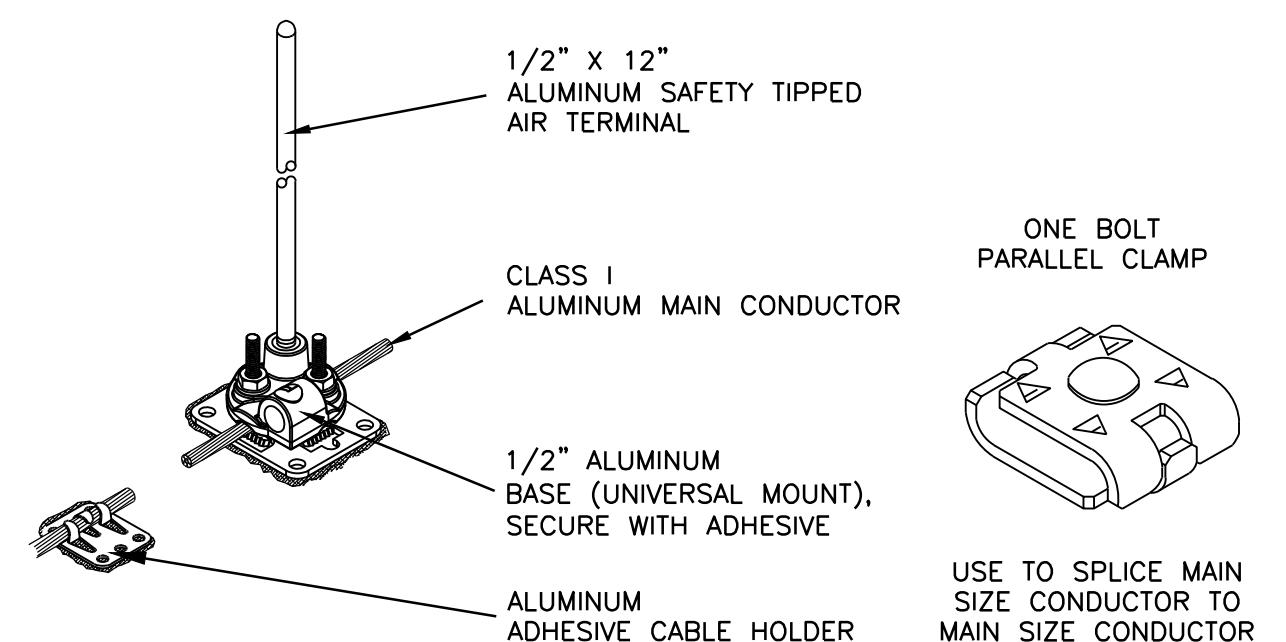


## NOTES:

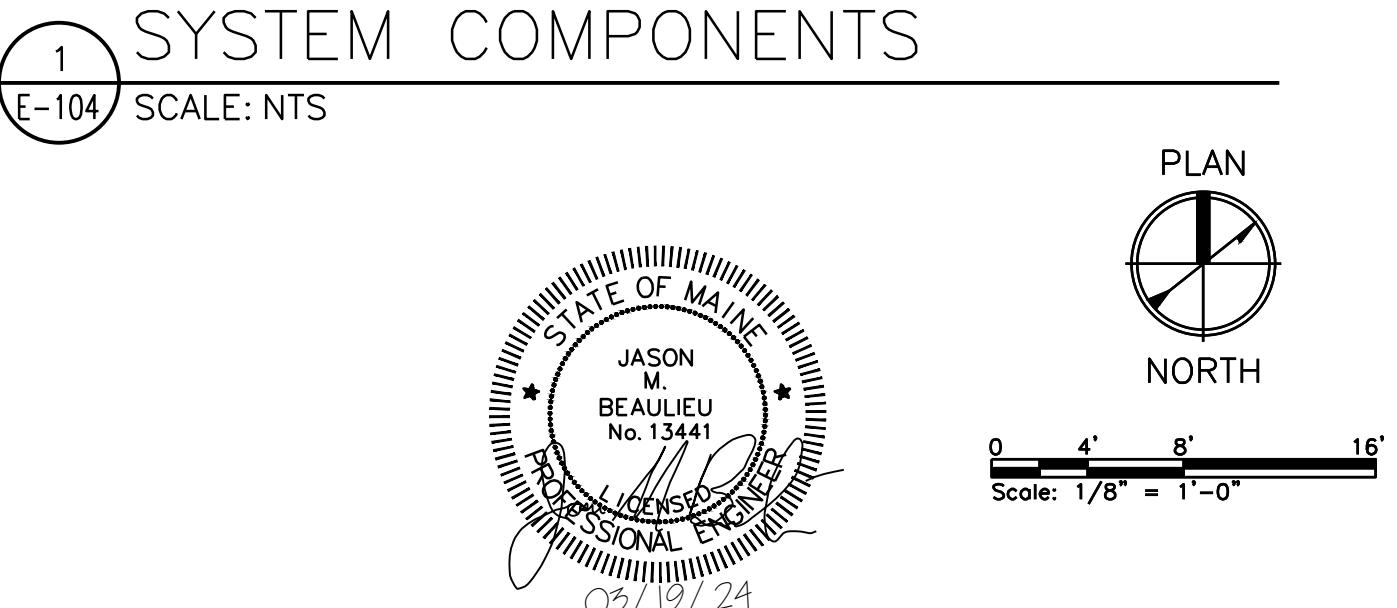
1. SEE E-001 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
2. PERFORM ALL LIGHTNING PROTECTION WORK IN ACCORDANCE WITH NFPA780 2023. INSTALLER MUST HAVE AN ACCREDITATION FROM OSHA AND NRTL FOR LIGHTNING PROTECTION SYSTEM INSTALLATION.

KEYED NOTES:

- 1 PROVIDE GFCI RECEPTACLE OF SIDE OF ROOF TOP UNIT FOR LOCAL CONVENIENCE POWER. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR. UTILIZE RECEPTACLE 120V CIRCUIT TO POWER RTU'S PACKAGED 120V LIGHTING CIRCUIT.
- 2 RECONNECT POWER, DDC CONTROLS, AND FACP CONNECTIONS. EXTEND WIRING AND CONDUIT AS NECESSARY.
- 3 PROVIDE 1/2" X 12" ALUMINUM SAFETY TIPPED AIR TERMINALS MOUNTED TO TOP OF RTU USING ALUMINUM UNIVERSAL BASES MOUNTED TO STACK WITH ADHESIVE.. CONNECT TO EXISTING LIGHTNING PROTECTION SYSTEM, MATCH EXISTING CONDUCTOR SIZE AND TYPE. RECERTIFY LIGHTNING PROTECTION SYSTEM.
- 4 PROVIDE 1/2" X 12" ALUMINUM SAFETY TIPPED AIR TERMINALS MOUNTED TO TOP OF BOILER STACK USING ALUMINUM UNIVERSAL BASES MOUNTED TO STACK WITH ADHESIVE. CONNECT TO EXISTING LIGHTNING PROTECTION SYSTEM, MATCH EXISTING CONDUCTOR SIZE AND TYPE. PROVIDE NEW UL96A MASTER LABEL LISTING FOR LIGHTNING PROTECTION SYSTEM.



# DETAIL – LIGHTNING PROTECTION SYSTEM COMPONENTS



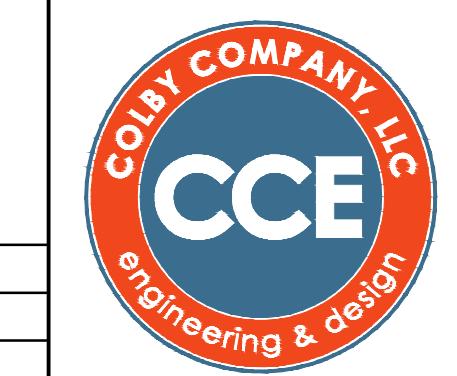
Scale: AS NOTED

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COLBY COMPANY, LLC  
Engineering & Design  
47A York Street, Portland, ME  
207.553.7753

No.	Revision	By	Date
1	ADDENDUM 2	JMB	3/19/2023

4	CONSULTANT PROJECT MANAGER: JASON BEAULIEU				
	By	Date		By	
Designed	JMB	04/21/23	Checked	JMB	
Drawn	ACY	04/21/23	In Charge of		



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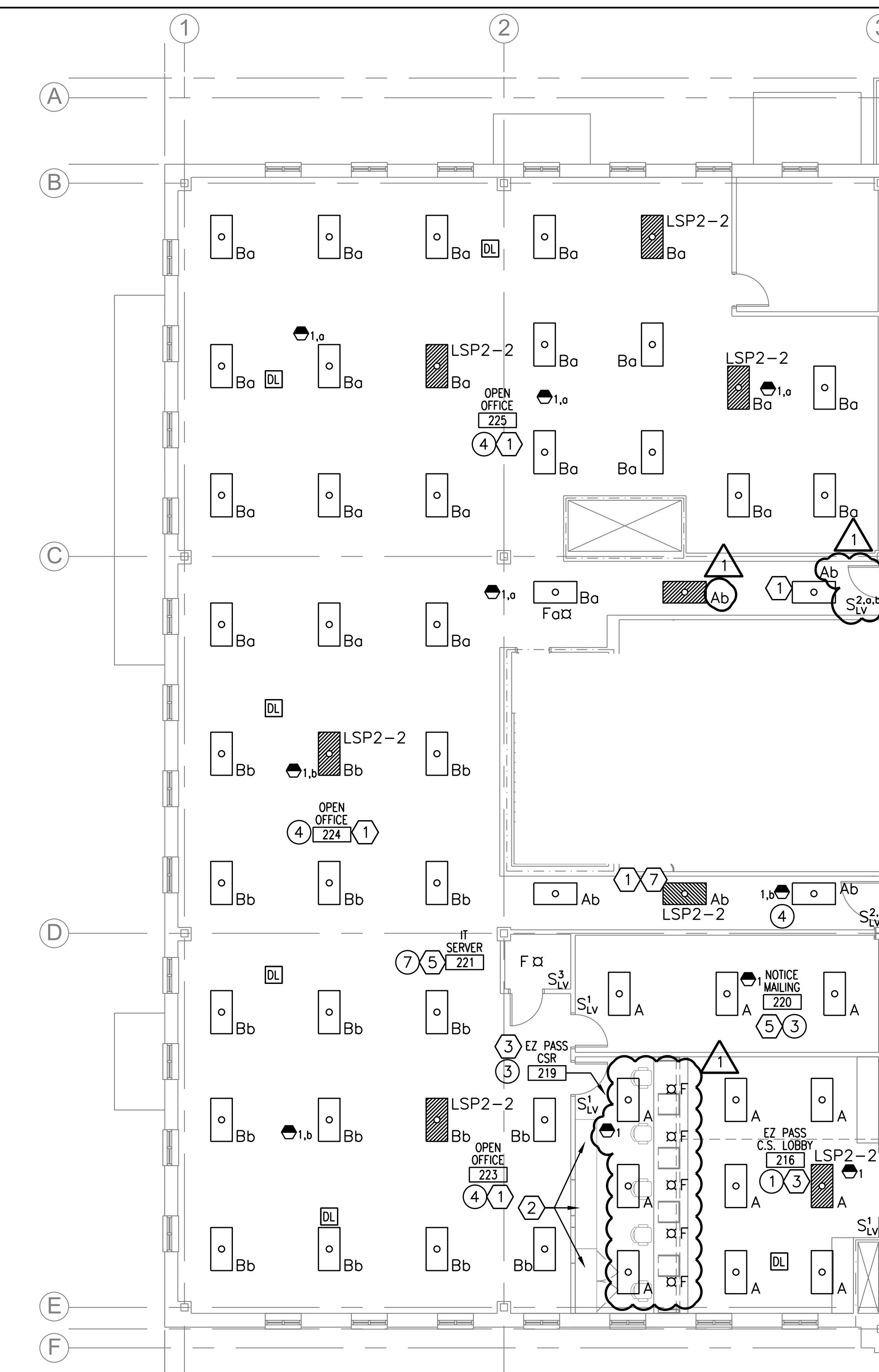
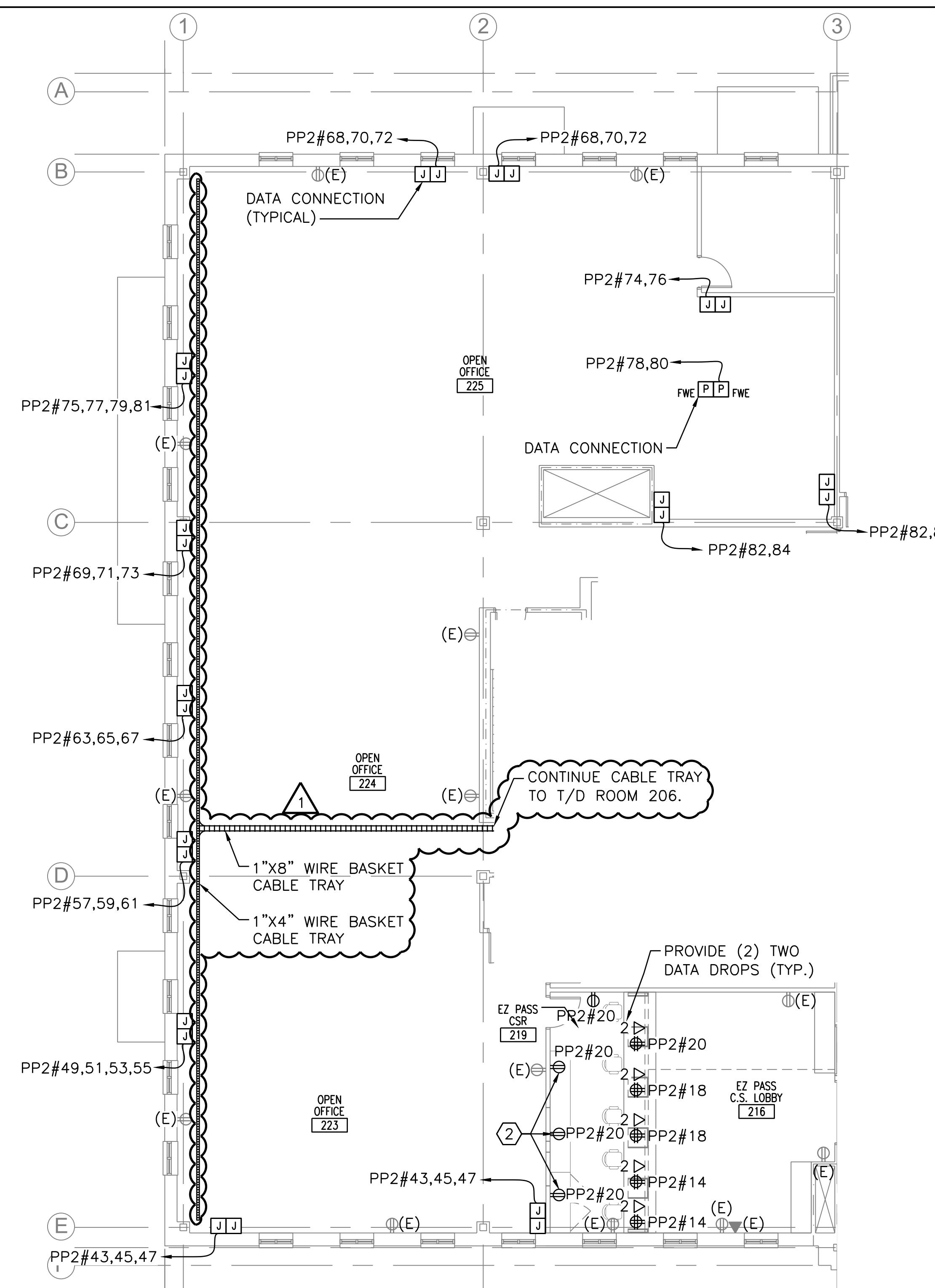
# THE GOLD STAR MEMORIAL HIGHWAY

MANAGER: JACQUELINE HANSEN

# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT

## ROOF PLAN

SHEET NUMBER: E-104  
023-10 60 OF 7



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**NOTES:**

1. SEE E-001 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
2. PROVIDE A SINGLE COMBO PHONE/DATA OUTLET WITH (3) DROPS PER WORKSTATION. INSTALL CABLING UTILIZING SYSTEM FURNITURE WIREWAY. HOMERUN CABLING TO T/D ROOM 206. PROVIDE PATCH PANELS AND INSTALL IN EXISTING DATA RACK. PROVIDE (2) TWO 5 FOOT PATCH CORDS PER DROP, ONE AT THE RACK AND ONE AT THE WORKSTATION.
3. PROVIDE CONNECTION TO SYSTEM FURNITURE WHIP. COORDINATE WITH FURNITURE PROVIDER.

## KEYED NOTES:

- ① FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-1, UNLESS OTHERWISE NOTED.
- ② MOUNT RECEPTACLE 6" ABOVE COUNTER SURFACE.
- ③ FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-6, UNLESS OTHERWISE NOTED.

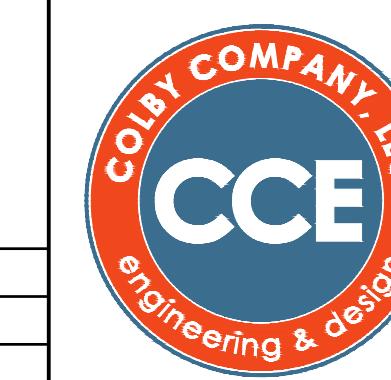
1 ROOMS 216,219,223,224,225 PART PLANS  
E-403 SCALE: 1/8" = 1'-0"

Scale: AS NOTED

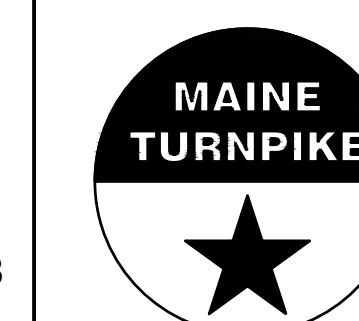
Designed by:  
COLBY COMPANY, LLC  
Engineering & Design  
47A York Street, Portland, ME 04101  
207.553.7753

No.	Revision	By	Date
1	ADDENDUM 2	JMB	3/19/2023

207.553.7753		
CONSULTANT PROJECT MANAGER: JASON BEAULIEU		
Designed	By JMB	Date 04/21/23
Drawn	ACY	Date 04/21/23 In Charge of



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Portland, ME  
04101  
207.553.77



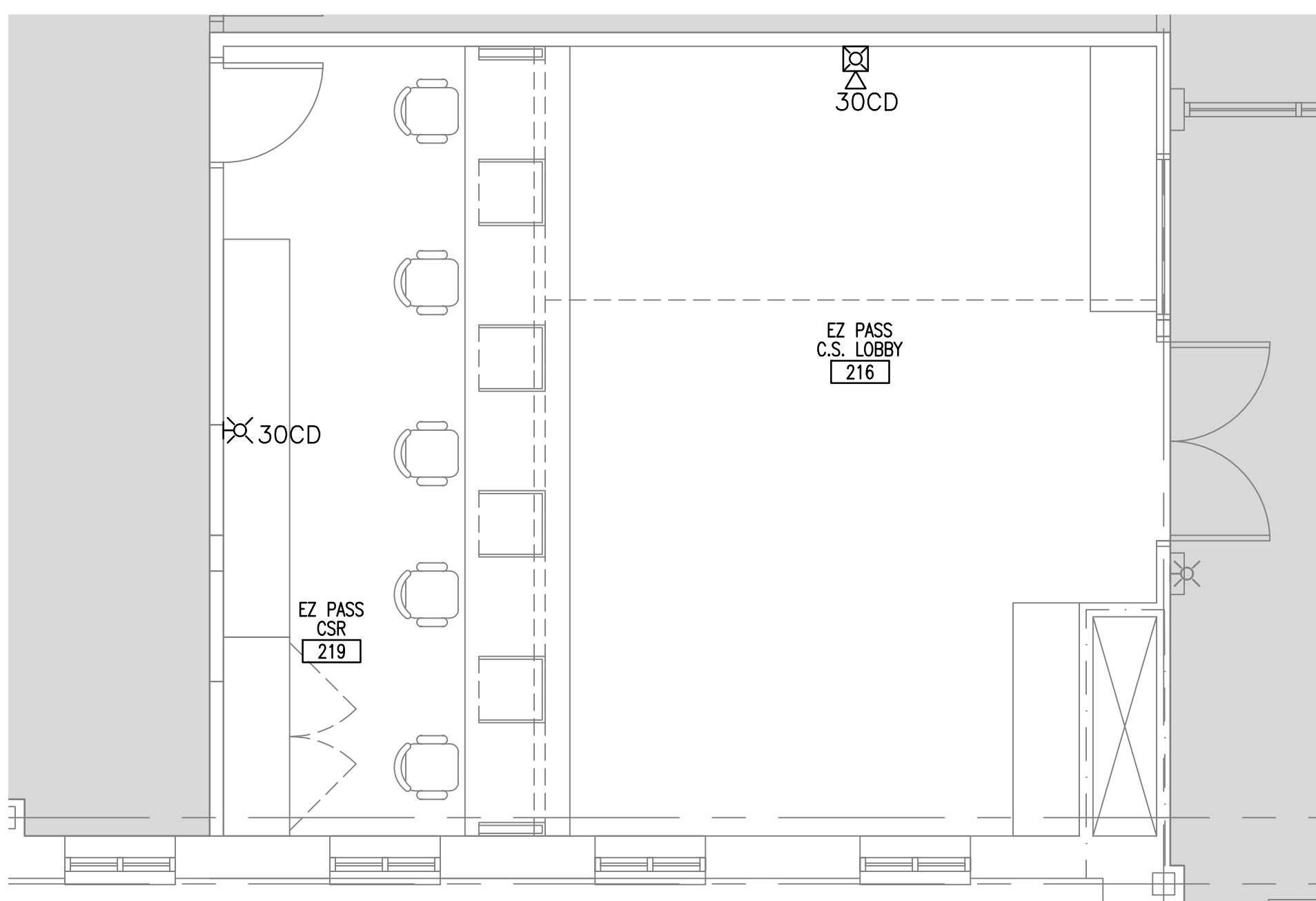
# THE GOLD STAR MEMORIAL HIGHWAY

# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT

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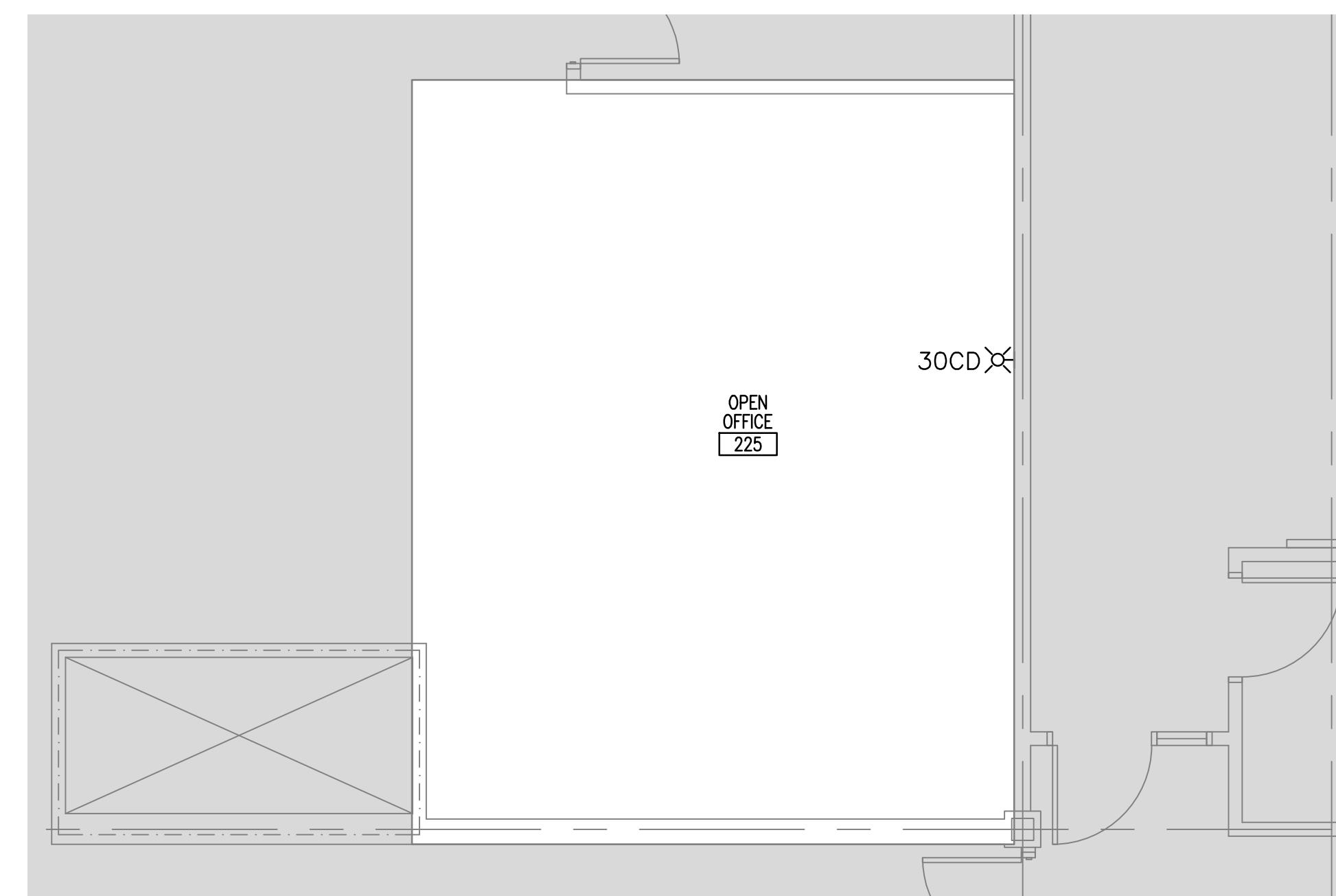
SHEET NUMBER: E-403

NUMBER. E-403



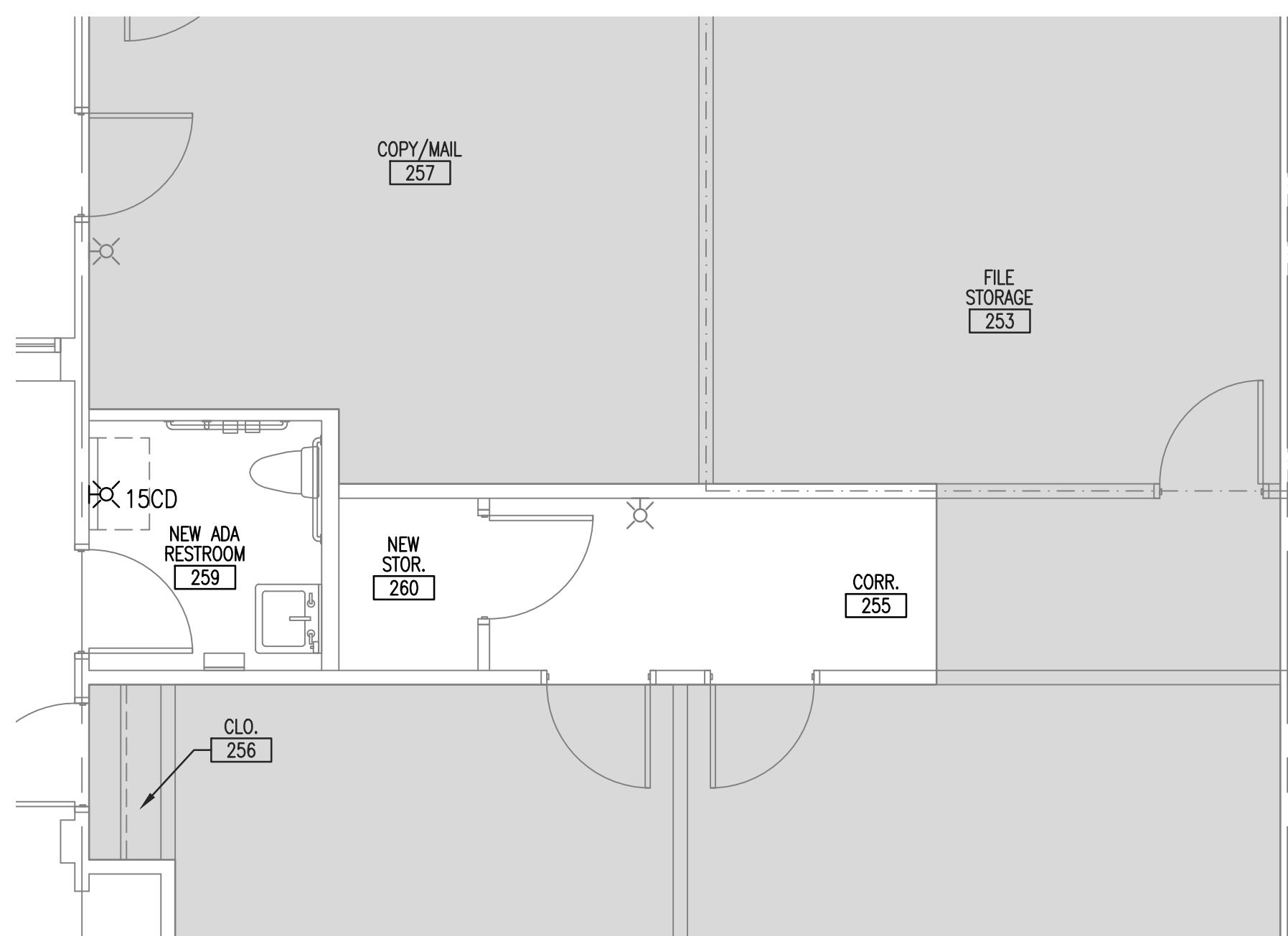
# SECOND FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"



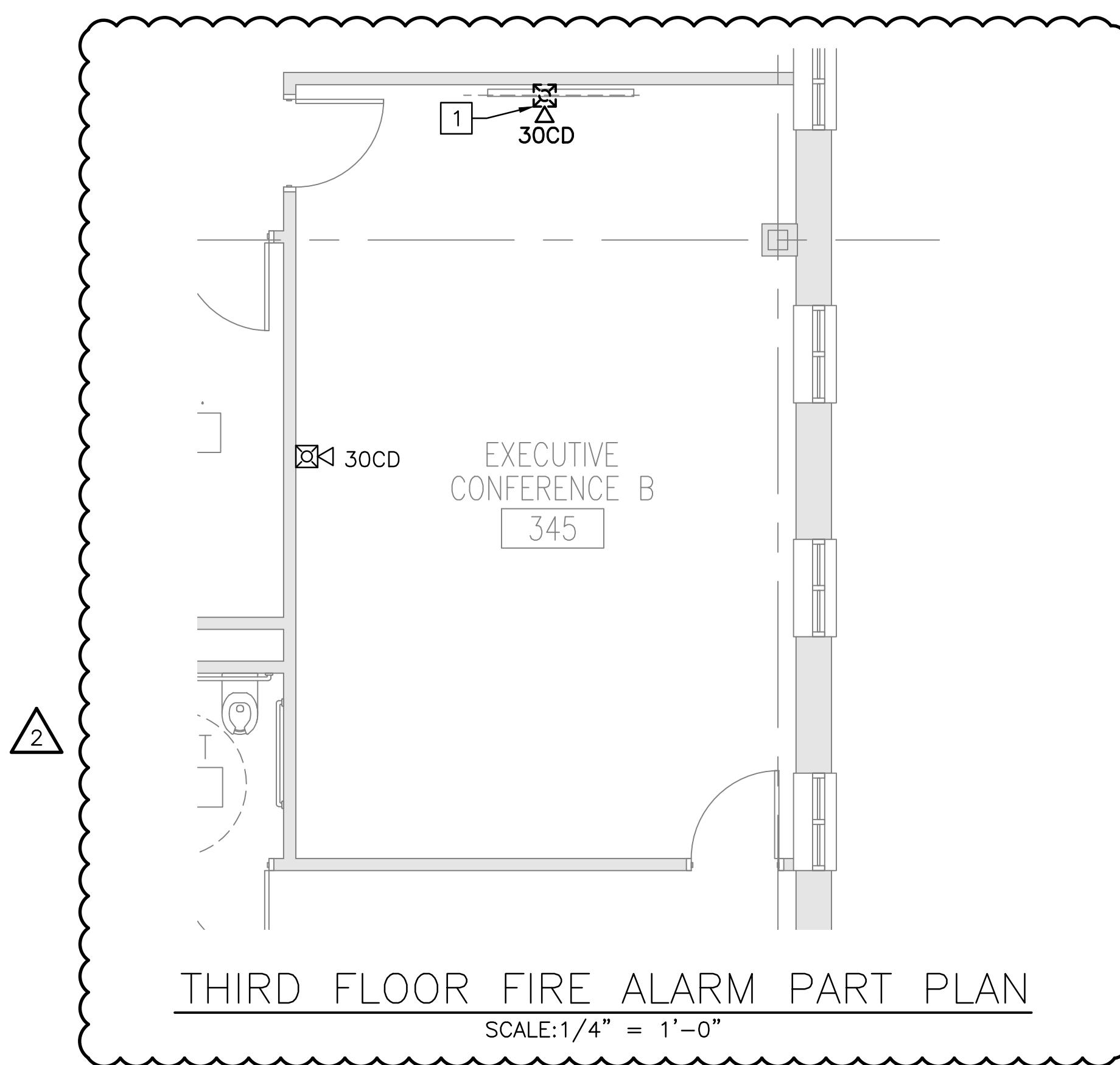
# SECOND FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"



SECOND FLOOR FIRE ALARM PART PLAN

SCALE 1/4" = 1'-0"



# THIRD FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"

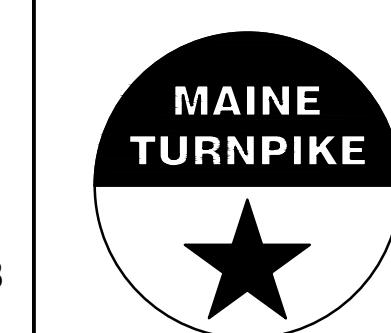
A horizontal line representing a DNA sequence. Above the line, the numbers 0, 2', 4', and 8' are placed at regular intervals. Below the line, there are four short black bars, each centered under one of the labeled positions: 0, 2', 4', and 8'.

Scale: AS NOTED

				Designed by:	COLBY COMPANY, LLC Engineering & Design 47A York Street, Portland, ME 04101 207.553.7753			
No.	Revision	By	Date					
1	ADDENDUM 2	SBC	2/9/24					
				CONSULTANT PROJECT MANAGER: JASON BEAULIEU				
				By	Date	By	Date	
				Designed	CDN	01/25/24	Checked	
				Drawn	SBC	01/25/24	In Charge of	



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# THE GOLD STAR MEMORIAL HIGHWAY

# MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT

SHEET NUMBER: EA101

51 OF 70