

MAINE TURNPIKE AUTHORITY

ADDENDUM NO. 2

CONTRACT 2023.10

**MTA HEADQUARTERS BUILDING
IMPROVEMENTS PROJECT**

The bid opening date is Tuesday March 26, 2024 at 10:00 am.

The following changes are made to the Proposal, Specifications and Plans.

PROPOSAL

The following changes are hereby incorporated into the project Proposal:

- Pages P-2 and P-3 – Schedule of Bid Prices, are deleted in their entirety and are replaced with the attached pages P-2 and P-3.

SPECIFICATIONS

The following changes are hereby incorporated into the project Specifications:

- Section 078413 – Penetration Firestopping: DELETE Paragraph 1.10 in its entirety. ADD in its place the following:

“1.10 QUALITY ASSURANCE

- A. Engage an experienced installer who is certified, licensed or otherwise qualified by the firestopping manufacturer as having been provided the necessary training to provide firestop products per specified requirements.”

- Section 230500 – Common Work Results: DELETE Paragraph 3.12 in its entirety. ADD in its place the following:

“3.12. Firestopping

- A. Provide through-penetration firestop systems. Refer to Division 7, Section 078413 for materials and specific requirements. Seal penetrations through fire-or smoke-rated wall, partition, ceiling, or roof assemblies with firestopping systems to restore original fire-resistance rating of assembly. Refer to Architectural plans for location of rated assemblies.”

- Special Provision 515, Protective Coating for Concrete Surfaces is deleted in its entirety and is

replaced with the attached Special Provision Section 515.

- Special Provision 800, Building and Structures is deleted in its entirety and is replaced with the attached Special Provision Section 800.
- Section 072100 – Thermal Insulation is added to the contract, see attached.

PLANS

The following changes are hereby incorporated into the project Plans:

- Sheet Number: G001 – Estimated Quantities, make a pen and ink change to add the following item:

800.05 EXTERIOR MASONRY SEALER LS

- Sheet Number: A-0 thru A-19 and AD-1 thru AD-4 are deleted in their entirety and replaced with the attached architectural sheets in addendum #2. All pen and ink changes in Addendum #1 have been incorporated into the attached updated architectural plan set.
- Sheet Number: FA-102, E-102 thru E-104, and E-403 are deleted in their entirety and replaced with the attached electrical and fire protection sheets in addendum #2
- Sheet Number: M-6, MH-1, MH-2, and MP-1 are deleted in their entirety and replaced with the attached mechanical and plumbing sheets in addendum #2

QUESTIONS

The following are questions submitted to the Maine Turnpike Authority in writing. Answers to the questions are noted. Bidders shall utilize this information in preparing their bid.

Question 1: Bid Item 800.05 Exterior Masonry Concrete And Waterproofing has been deleted from the Schedule of Bid Prices issued in Addendum #1, yet Addendum 1 notes to revise quantity to 14,000 SF.

Answer: Bid Item 800.05 has been added to addendum #2 with a quantity of Lump Sum. Special Provision 800 has been updated to reflect the areas masonry sealing is required under Bid Item 800.05.

Question 2: Bid item 515.21 is to be bid as a Lump Sum. The specification for this section mentions precast concrete and masonry structures. Please indicate extent of scope items for which this Lump Sum bid item is intended.

Answer: The lump sum bid item 515.21 Protective Coating for Concrete Surfaces, is intended for use on all exterior cast-in-place and precast surfaces (608 pay items);

to include, but not limited to, cast-in-place concrete walkways, sidewalks and patios, precast pavers in walkways, sidewalks, and patios. The brick masonry sealing is quantified separately in the 800.05 pay item.

Question 3: There is no description for Bid Items 645.106 & 645.116 regarding signage. What & where are these signs?

Answer: The intent of the bid items is to pay for the installation and removal of the 12 signs shown on plan sheet 7 (G-006), which will be provided by the MTA to be installed and removed by the contractor as indicated on the above referenced plan sheet General Notes 4, to be installed during the relocation of the E-ZPass retail center to the cafeteria and removed after the New E-ZPass Retail Center is complete. The items 645.106 & 645.116 are Standard Specification Items and specifics for the installation and removal are within the 2014 MaineDOT Standard Specifications. In general, the pay items include all labor, equipment, sign supports, sign posts, hardware and incidentals needed to install and remove the 12 signs.

Question 4: For the concrete patio slab Bid Items, is the related earthwork to be included as part of these bid item?

Answer: Yes, refer to special provision 608, Basis of Payment.

Question 5: Is Bid item 608.081 to include the cost of the underslab rigid insulation and radiant snow melt as part of this Bid Item? Or is it part of the Bid Item 800.01 Building Renovation cost?

Answer: Yes, the underslab rigid insulation and radiant piping exterior of the building façade is considered incidental to Bid Item 608.081. Refer to special provision 608, Basis of Payment.

Question 6: Is this project tax exempt?

Answer: Yes, the project tax exempt.

Question 7: Addendum #1 says the GC is responsible to include all excluded items noted on their quote issued with the addendum. If the GC is required to provide a Laptop Workstation, pipe markings, labeling, etc. these need to be specified and quantified.

Answer: The only exclusions the GC will be responsible for will be fire caulking and Patching and Painting. If any additional items are needed from the XL Automation exclusion list, they will be handled on a time and material basis.

Question 8: If our estimated quantities by scaling the bid documents are greater or less than the quantities listed on the Bid Items Schedule, which quantity do we go by? Ex: If you state 175 SY and we see it as 250 SY, do we put cost to our takeoff quantity and divide it by the 175 which

would show a higher unit price for that item? Or do we just provide unit cost based on the stated quantity?

Answer: Unit Price shall be provided based on the cost to perform one unit of measurement. The contractor will be paid for the actual measured quantity of item installed which could be an increase or decrease from the estimated quantities shown in the Bid Documents. Such increase or decrease shall not be considered Extra Work. See MTA 2016 Supplemental Specification Section 109.1 for more information.

Question 9: In Bid item 608.081 is the resetting of the top granite step to be included with this Bid Item or part of the Bid Item 800.01 Building Renovation cost?

Answer: If required, cost will be paid for by appropriate hourly items, refer to general note 8, plan sheet 2.

Question 10: In Bid item 608.081 we have to include the cost to remove & replace the existing MTA monument. Is this on a foundation? Does the new slab run under this? Does it just set down back on the slab without foundation?

Answer: No, the monument is not currently on a foundation, The new slab will not run under the monument. To remove and reset (replace) the monument, the monument will be removed and demolition of existing patio/walkway and regrading and replacing of the patio/walkway with new broomed finished concrete. The area where the monument will be reset will be bonded out from the new concrete slab placement and then shimmed to an elevation of 2" below the new slab elevation, as directed by the resident engineer. The monument will be reset and the gap between the monument and the slab will be sealed with an approved sealant. All work for the removing and resetting the monument will be incidental to the 608.081 pay item.

Question 11: Is there any masonry that is not part of the 800 series bid item that should be included in the NTA Building Bid item?

Answer: No, all exterior brick masonry work is paid for as part of an 800 series bid items, see Section 040120.64 paragraph 1.4. The specification governing the work are found in Section 040120.64. Masonry sealant will be paid for under item 800.05.

Question 12: Do the series 800 Bid Items include the work at the masonry & precast work at the front patio?

Answer: Yes, refer to special provision 800.

Question 13: In the Building Renovation Lump Sum, do we include the replacement of damaged patio pavers? Does this deduct in Bid Item 608.082?

Answer: The Building Renovation Lump sum Pay Item 800.01 is not intended to include patio work. The two patio side areas denoted as “29” in detail A on plan sheet AD-4 and denoted as “Pay Item 608.082” in the “Front Entryway/Patio Plan” detail on plan sheet G-003 will be paid for in one of two ways. IF the MTA chooses to retain the two existing patio side areas, the contractor will be paid by Pay Item 608.10 “Brick Sidewalk (Remove and Rebuild)” to replace the broken pavers with salvaged pavers removed from the lower section as noted in note “16” in detail A on plan sheet AD-4. IF the MTA chooses to remove the pavers in the two existing side patio areas and replace with a reinforced concrete sidewalk, the contractor will be paid by Pay Item 608.082. See specification 608 for work that is considered incidental to both pay items. The intent is not to utilize both pay items and the item that is not utilized will be deducted from the contract through a change order.

Question 14: Does the repointing Bid Item include the work at the precast caps?

Answer: Yes, see Section 040120.64 – Brick and Masonry Repointing.

Question 15: What is included in Bid Item 800.03 Fenestration Joint Sealant Remove & Replace? Is this for the window caulking?

Answer: Yes, see Section 040120.64 Brick and Masonry Repointing and Section 079200 Joint Sealants.

Question 16: Bid Item 608.10 Brick Sidewalk (Remove & Rebuild), there is no description for what this Bid Item scope entails?

Answer: Special Provision 608 supplements MaineDOT 2014 Standard Specifications. Refer to MaineDOT 2014 Standard Specification, Section 608 – Sidewalks.

Question 17: Bid Item 608.26 Curb Ramp Detectable Warning Field. There is no description for what this Bid Item scope entails. The detectable Warning strip is included in Bid Item 608.081 so not sure what this item includes?

Answer: Special Provision 608 supplements MaineDOT 2014 Standard Specifications. Refer to MaineDOT 2014 Standard Specification, Section 608 – Sidewalks.

Question 18: Please quantify what the Lump Sum Bid Item 515.21 Protective Coating For Concrete Surfaces. Please confirm if this is for just the new concrete patio slabs (Bid Items 608.081 & 608.082). If so, is it 1 Lump Sum number for both areas?

Answer: Refer to response to question #2 of this Addendum.

Question 19: I don't see any mention of what is happening with the wood wainscot wall panels at the EZ Pass reno on the walls that aren't demoed (exterior wall). Are these to remain or be demoed?

Answer: All hard wood wall panels not called out for removal shall be protected, and any hard wood wall panels within the demoed area of the existing E-ZPass retail center shall be removed without damage, salvaged and reused if possible in the renovation of the E-ZPass retail center.

Question 20: Bid Item 631.172: What is considered a "Large Truck"?

Answer: Refer to MaineDOT 2014 Standard Specification, Section 631 – Equipment Rental.

Question 21: Detail 2/A-18 Transaction Window Wall Section. There is a clouded note: "Upper Portion of Wall, Glass, and HVAC Modifications Not In Contract".

Answer: Refer to updated architectural plan sheets attached to this addendum.

Question 22: E-ZPass CSR 219: There is a clouded note: "Wal Cabinets Not In Contract". 2/A-18 Transaction Window Wall Section. There is a clouded note: "Upper Portion of Wall, Glass, and HVAC Modifications Not In Contract".

Answer: Refer to updated architectural plan sheets attached to this addendum.

Question 23: Is the current fire alarm system notifier?

Answer: Yes, the current fire alarm system is a Notifier system.

Question 24: Note 8 on sheet E-401, can you give us any detail of the exterior lighting circuits?

Answer: See Exterior Lighting Schedule on E-603 for more information on the exterior lighting circuits.

Question 25: Do you want telecom included in electrical bid's and if so to what extent?

Answer: The telecom scope should be included in the GC's overall bid regardless of which sub carries it.

Question 26: Sheet E-605. For the electrical panels lines where its faded does that mean its existing?

Answer: Yes, faded means existing to remain.

Question 27: Where the line is bold with a * we are to reuse the beaker, is that correct? Where the line is bold but doesn't have a * does that mean you need a new breaker?

Answer: Yes, Bold with a * means to reuse the breaker. Bold without a * means to provide a new breaker.

Question 28: Does electrical need to dispose of the existing lights to be removed or are we just cutting and making safe for demo?

Answer: The overall bid should include the disposal of the lights regardless of which sub carries it.

Question 29: Do you need cable tray included? If so what size and how long?

Answer: Install a 1x8 wire basket type cable tray from Open Office 224 to Tel/Data Rm 206 for cabling home runs. Within the Open Office 224 area install a 1x4 wire basket type cable tray north to south on or near the west wall. All cabling to be supported by Cable tray, J-Hooks or within conduit.

Question 30: The finish schedule on drawing A-14 calls for new ACT at Conference Room 213. The demo plans do not indicate existing ceiling removal at this room.

Answer: The Finish Schedule at Conference 213 has been changed. This change is defined in the plan section of this addendum.

Question 31: Is it mandatory to have an "Approved FM Global Firestopping Contractor perform all firestopping on this project?

Answer: No, an "Approved FM Global Firestopping Contractor" is not required to perform the work. This change is defined in the specification section of this addendum.

Question 32: Reference Drawing A-9: The new EZ Pass Customer Lobby is showing five new transaction windows which are specified to be 60"x42". We don't have a north/south dimension on the new lobby, but it scales to approximately 24'; so it appears that five 60" windows will not fit in this space. Please clarify.

Answer: Refer to updated architectural plan sheets attached in this addendum.

Question 33: Is the subcontractor insurance requirement of \$1,000,000.00 per occurrence/\$2,000,000.00 aggregate required for all subcontractors or just major subs over a certain contract value?

Answer: The insurance requirement is for all subcontractors.

Question 34: Does the electrical contractor need to supply the snow melt system?

Answer: The snow melt system scope should be included in the GC's overall bid regardless of which sub carries it.

- Addendum No. 2 (8 pages)
- Special Provision 515 (3 Pages)
- Special Provision 800 (2 Pages)
- Section 072100 Specification (3 Pages)
- Proposal – Schedule of Bid Prices (2 pages)
- Architectural Plan Sheets (24 Pages)
- Electrical Plan Sheets (5 Pages)
- Mechanical and Plumbing Sheets (4 Pages)

Notes: The above items shall be considered as part of the bid submittal.

The total number of pages included with this addendum is 51 pages.

All bidders are requested to acknowledge the receipt of the Addendum No. 2 by signing below and emailing this sheet to Nathaniel Carll, Purchasing Department, Maine Turnpike Authority at ncarll@maineturnpike.com. Bidders are also required to acknowledge receipt of this Addendum No. 2 on Page P-4 of the bid package.

Business Name

Print Name and Title

Signature

Date

Very truly yours,

MAINE TURNPIKE AUTHORITY

Nathaniel Carll Purchasing Department Maine Turnpike Authority

SPECIAL PROVISION

SECTION 515

PROTECTIVE COATING FOR CONCRETE SURFACES

(Clear Concrete Protective Coating)

Section 515, Protective Coating for Concrete Surfaces, is deleted in its entirety and replaced with the following:

515.01 Description

The work shall include the surface preparation and application of a clear protective coating on concrete surfaces to protect the new reinforced concrete sidewalk and existing patio precast concrete pavers that remain in place. The coating system shall be applied in accordance with the Plans, Specifications and the manufacturer's published recommendations.

515.02 Materials

The penetrating sealer shall be:

Certi-Vex Penseal 244-100%

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	20-90
Silanes (%)	100% silane, alcohol based
VOCs (g/L)	< 250

Sikagard 705 L

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	40-95
Silanes (%)	100% silane, alcohol based
VOCs (g/L)	100

SIL-ACT ATS-100 LV Silane

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	40-110
Silanes (%)	100% silane, alcohol based
VOCs (g/L)	< 250

SIL-ACT ATS-300

Type	1c Penetrating Silane
Min. Appl.Temp. (F)	20-110
Silanes (%)	100% silane, solvent based
VOCs (g/L)	242

The product shall comply with regulations limiting the Volatile Organic Compound (VOC) content of architectural and industrial maintenance coatings.

The Contractor shall submit the product's data sheets, material safety data sheets and recommended instructions for application.

Materials shall be delivered to the site in original packages or containers bearing the manufacturer's labels and identification.

515.21 Substitute Materials

The Contractor shall submit a written request for approval of proposed substitute material naming the proposed manufacturer and product. This request shall be accompanied by:

1. Test data from an independent testing laboratory stating that the proposed substitute meets or exceeds the specified requirements as listed and has been tested in accordance with the specified test standards.
2. Documentation that the proposed material has a proven record of performance when used in the intended application as confirmed by actual field tests and successful installations in place on at least five similar projects.
3. Certification that if two or more types of products are intended to be used as part of a system, they will be supplied by the same manufacturer to ensure compatibility of materials, and to maintain single source manufacturer responsibility.

The Resident reserves the right to require additional testing to evaluate any proposed substitute product at no additional cost to the Authority. The Resident's decision as to the acceptability or non-acceptability of the proposed product shall be final.

515.03 Surface Preparation

All caulking, patching, and joint sealant shall be installed prior to application of the sealer. On new surfaces to be treated, all voids shall be dressed by dry rubbing to remove form marks and blemishes to present a neat appearance. Concrete and masonry surfaces shall be cleaned free of dust, surface dirt, oil, efflorescence and contaminants to ensure penetration of the sealer. The surface may be slightly damp at the time of treatment.

The Contractor may use, when required, appropriate cleaning materials recommended by the sealer manufacturer in conjunction with high pressure water for cleaning the concrete or masonry.

515.04 Application

The Contractor shall apply the clear concrete protective coating in strict accordance with the manufacturer's published recommendations.

The work shall not be conducted when there is a chance of the surface temperature falling below minimum allowable temperature in the 24-hours following application; nor should it be applied on hot, windy days.

The treatment shall not be applied during rain to wet surfaces. It shall not be applied when winds are sufficient to carry airborne chemicals. Product shall be cured per the manufacture's recommendations.

Prior to applying the sealer, the Contractor shall protect all surrounding non-masonry/non-concrete surfaces, landscape and lawn areas, and surfaces not designated for treatment, from contact with the penetrating sealer, and prevent overspray of the penetrating sealer caused by wind drift.

The Contractor shall ensure that all safety equipment, facilities and precautions recommended by the product manufacturer are furnished and/or strictly adhered to.

The sealer material shall be applied in the manner and with the equipment recommended by the product manufacturer. Coverage will vary depending on condition, texture and porosity of the surfaces. Pre-testing is required to determine acceptability of the procedure.

Sealer shall be applied as packaged without dilution or alteration. Sufficient material shall be applied to thoroughly saturate the surface making sure to brush out excess material that does not penetrate.

When the sealer is applied to horizontal surfaces, it shall be applied in a single saturating application with sufficient material and applied so the surface remains wet for one to two minutes before penetration into the concrete. Surface residues, pools and puddles shall be broomed-out thoroughly until they completely penetrate into the surface.

When the sealer is applied to vertical and sloped surfaces, it shall be applied in a "wet-on-wet" application for best results on most porous materials. In the case of extremely dense concrete, it may be necessary to restrict the amount of material applied to one saturating application in order to prevent surface darkening.

515.05 Method of Measurement

Clear Concrete Protective Coating for Concrete Surfaces will be measured for payment by the lump sum, complete and in-place. Refer to Standard Specification 515 Protective Coating for Concrete Surfaces additional information.

515.06 Basis of Payment

Protective coating for concrete surfaces will be paid for at the contract unit price per lump sum, as specified.

Payment will be made under:

Pay Item	Pay Unit
515.21 Protective Coating for Concrete Surfaces	Lump Sum

SPECIAL PROVISION

SECTION 800

BUILDING AND STRUCTURES

(Maine Turnpike Headquarters Building Renovation)
(Exterior Masonry Control Joint Sealant Remove and Replace)
(Exterior Masonry Fenestrations Joint Sealant Remove and Replace)
(Exterior Masonry Repointing)

800.1 Description

All work shall be completed in accordance with the contract Plans and the requirements of Appendix A of the contract Specifications.

All existing brick and stone masonry on the exterior of the Headquarters Building including but not limited to all four building elevations, windowsills, portico, rear balcony, and brick masonry retaining walls with associate granite wall caps shall be sealed in accordance with manufacturers written instructions and as specified in section 040120.64 Brick Masonry Repointing.

800.3 Method of Measurement

Maine Turnpike Headquarters Building Renovation will be measured for payment by the lump sum, complete and in-place.

Exterior Masonry Control Joint Sealant Remove and Replace and Exterior Masonry Fenestrations Joint Sealant Remove and Replace will be measured for payment by the linear foot, complete and in-place.

Exterior Masonry Repointing will be measured for payment by the square foot, complete and in-place.

Exterior Masonry sealing will be measured for payment by lump sum, complete and in-place.

800.4 Basis of Payment

Maine Turnpike Headquarters Building Renovation, Exterior Masonry Control Joint Sealant Remove and Replace, Exterior Masonry Fenestrations Joint Sealant Remove and Replace, Exterior Masonry Repointing, and Exterior Masonry Sealing will be paid for at their respective unit prices which shall be full compensation for the cost of furnishing all materials, equipment, access, labor and incidentals necessary to satisfactorily complete the work in

accordance with the Plans and these Specifications.

Payment will be made under:

<u>Pay Item</u>	<u>Pay Unit</u>
800.01 Maine Turnpike Headquarters Building Renovation	Lump Sum
800.02 Exterior Masonry Control Joint Sealant Remove and Replace	Linear Foot
800.03 Exterior Masonry Fenestrations Joint Sealant Remove and Replace	Linear Foot
800.04 Exterior Masonry Repointing	Square Foot
800.05 Exterior Masonry Sealing	Lump Sum

SECTION 072100

THERMAL INSULATION

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings, Contract Conditions and other Technical Specifications Sections apply to work of this Section insofar as applicable.
- B. Coordinate work with that of all other trades affecting, or affected by work of this Section. Cooperate with such trades to assure the steady progress of all Project work.

1.02 DESCRIPTION

- A. The work includes furnishing of all labor and materials necessary to provide an installation which is complete in every respect and of the composition and quality as specified herein.
- B. Applications of insulation specified in this section include, but are not limited to, the following:
 - 1. Board type for exterior concrete slab.

1.03 QUALITY ASSURANCE

- A. Thermal Resistance: Where a minimum "R" value is given, provide thickness required to achieve indicated value.
- B. Thermal Transmittance-Heat Transfer: Where a maximum "U" value is given for a wall assembly, provide thickness required to achieve indicated value.

1.04 SUBMITTALS

- A. Product Data: Submit eight (8) copies of the manufacturers' specifications and installation instructions for each type of insulation and vapor barrier material required.
- B. Certified Tests: Submit eight (8) copies of certified test report showing compliance with specified performance values if submitted product is other than those specified.

1.05 PRODUCT HANDLING

Protect insulation from sunlight, from physical damage and from becoming wet, soiled, or covered with ice and snow. Comply with manufacturers' recommendations for handling, storage and protection during installation.

PART 2 - MATERIALS

2.01 MANUFACTURERS

Available Manufacturers: Subject to compliance with requirements, manufacturers offering products which may be incorporated in the work include, but are not limited to those listed below.

2.02 MATERIALS

- A. Extruded Polystyrene Board Insulation: Rigid, closed-cell, extruded, polystyrene insulation board with integral high-density skin; comply with ASTM C 578, Type IV, achieve minimum compressive strength of 25 psi at 10% deformation per ASTM D 1621; achieve maximum moisture absorption of 0.3% by volume per ASTM C 272; 5-year aged R-value of 5 per inch at 75°F.

"SM", "TG" or "RM", Dow Chemical Co.
Formula 400, UC Industries/U.S. Gypsum

Expanded polystyrene insulation board is not acceptable.

PART 3 - EXECUTION

3.01 INSPECTION AND PREPARATION

Examine substrate and conditions under which insulation work is to be performed and notify the Engineer in writing of unsatisfactory conditions. Do not proceed with insulation work until unsatisfactory conditions have been corrected in an acceptable manner.

Clean substrates of substances harmful to insulations (or vapor barriers, including removal of projections which might puncture vapor barriers).

3.02 INSTALLATION OF INSULATION

- A. Comply with manufacturers' instructions for installation or consult manufacturer's technical representative for specific recommendations before proceeding with work.
- B. Apply insulation (full thickness) over entire area to be insulated. Cut and fit tightly around obstructions, and fill voids with insulation, taking care not to overly compress the insulation. Remove projections which interfere with placement.
- C. Under-slab Insulation

Set units in accordance with the manufacturer's instructions and recommendations and protect from damage.

3.04 PROTECTION

Protect installed insulation from harmful weather exposures and from physical abuse. Installer shall advise Contractor of exposure hazards, including possible sources of deterioration and fire hazards.

END OF SECTION

**SCHEDULE OF BID PRICES
CONTRACT NO. 2023.10
MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT**

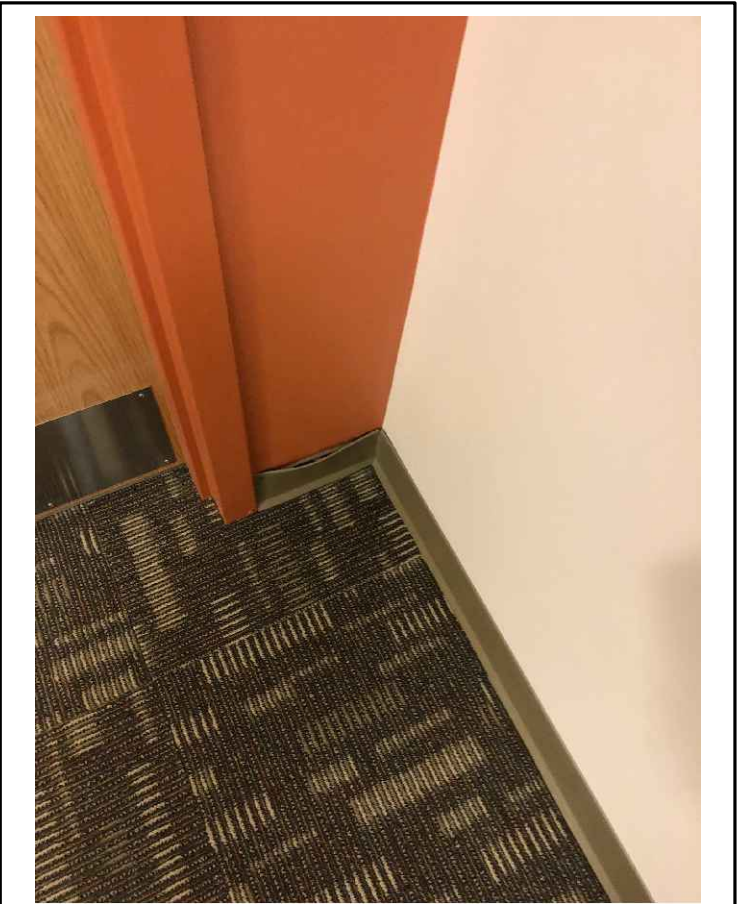
Item No	Item Description	Units	Approx. Quantities	Unit Prices in Numbers		Bid Amount in Numbers	
				Dollars	Cents	Dollars	Cents
515.21	PROTECTIVE COATING FOR CONCRETE SURFACES	Lump Sum	1				
608.081	REINFORCED CONCRETE SIDEWALK - AREA A	Square Yard	175				
608.082	REINFORCED CONCRETE SIDEWALK - AREA B	Square Yard	250				
608.10	BRICK SIDEWALK (REMOVE AND REBUILD)	Square Yard	250				
608.26	CURB RAMP DETECTABLE WARNING FIELD	Square Foot	10				
629.05	HAND LABOR, STRAIGHT TIME	Hour	40				
631.12	MINI-ALL PURPOSE EXCAVATOR (INCLUDING OPERATOR)	Hour	40				
631.172	TRUCK-LARGE (INCLUDING OPERATOR)	Hour	40				
631.36	FOREMAN	Hour	40				
631.51	SISSOR LIFT	Hour	60				
631.52	BOOM LIFT	Hour	60				
631.53	ELECTRICIAN	Hour	100				
631.54	ELECTRICIAN'S APPRENTICE	Hour	100				

CARRIED FORWARD:

Item No	Item Description	Units	Approx. Quantities	Unit Prices in Numbers		Bid Amount in Numbers	
				Dollars	Cents	Dollars	Cents
BROUGHT FORWARD:							
631.55	PLUMBER	Hour	20				
631.56	PLUMBER APPRENTICE	Hour	20				
631.57	HVAC TECHNICIAN	Hour	60				
631.58	HVAC APPRENTICE	Hour	60				
645.106	DEMOUNT REGULATORY WARNING CONFIRMATION AND ROUTE MARKER SIGN ASSEMBLY	Each	12				
645.116	REINSTALL REGULATORY WARNING CONFIRMATION AND ROUTE MARKER ASSEMBLY SIGN	Each	12				
659.10	MOBILIZATION	Lump Sum	1				
800.01	MAINE TURNPIKE HEADQUARTERS BUILDING RENOVATION	Lump Sum	1				
800.02	EXTERIOR MASONRY CONTROL JOINT SEALANT REMOVE AND REPLACE	Linear Foot	930				
800.03	EXTERIOR MASONRY FENISTRATIONS JOINT SEALANT REMOVE AND REPLACE	Linear Foot	3,280				
800.04	EXTERIOR MASONRY REPOINTING	Square Foot	1,000				
800.05	EXTERIOR MASONRY SEALER	Lump Sum	1				
TOTAL:							



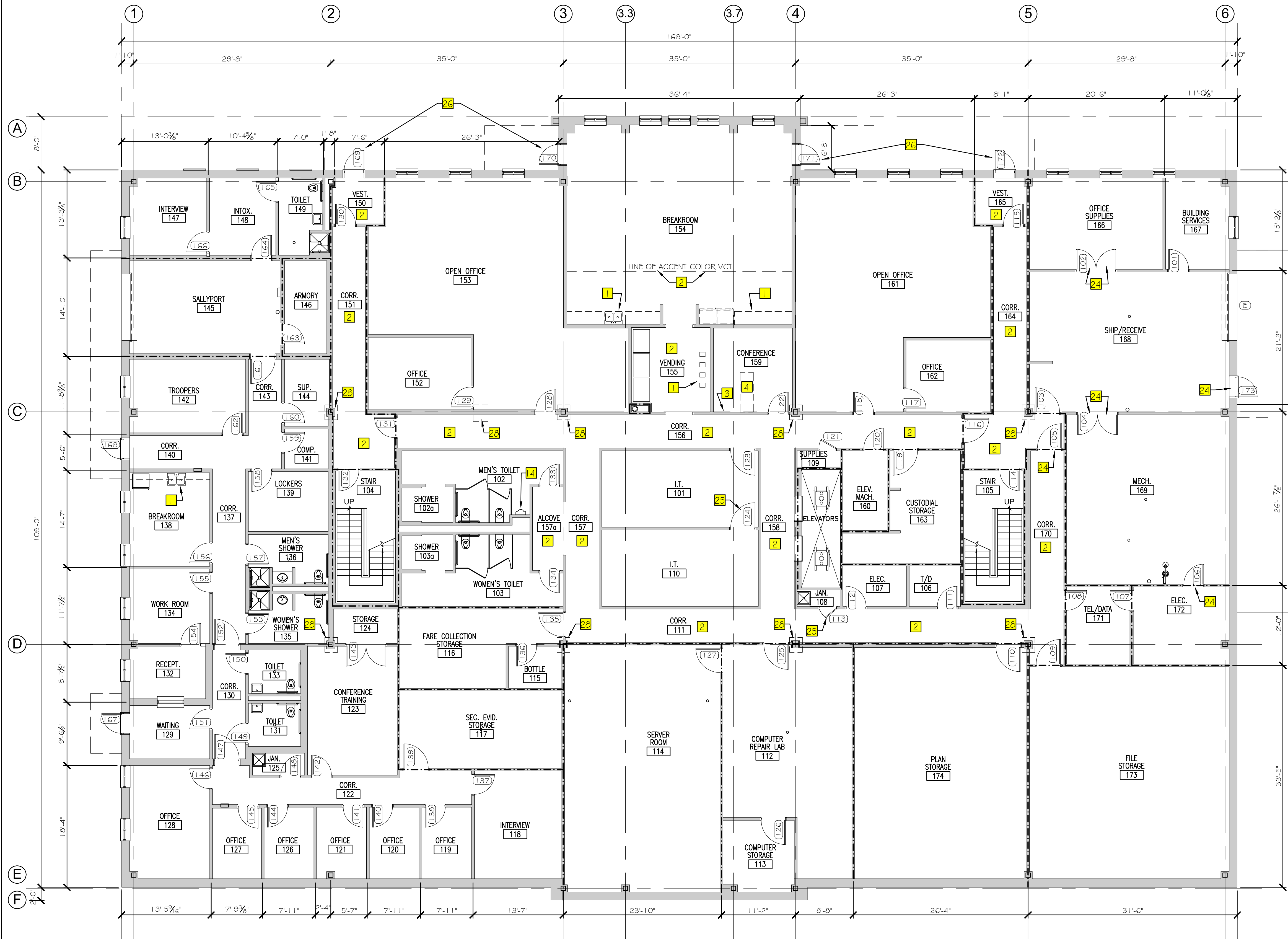
FOR DEMOLITION NOTES
SEE SHEET AD-2



① EXISTING WALL BASE CONDITION 26



② EXISTING CONDITION AT 28 FLOOR DEPRESSION



Scale: 1/8"=1'-0"

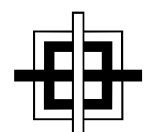
Designed by:

Michael F. Hays, RA

CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

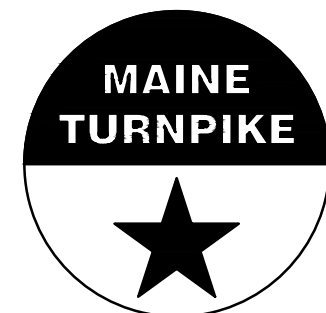
No.	Revision	By	Date

By	Date	By	Date
Designed	MFH 02/26/24	Checked	MFH 02/26/24
Drawn	MGK 02/26/24	In Charge of	



GRANT HAYS
ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105
207.871.5900 www.granthays.com



THE GOLD STAR
MEMORIAL HIGHWAY

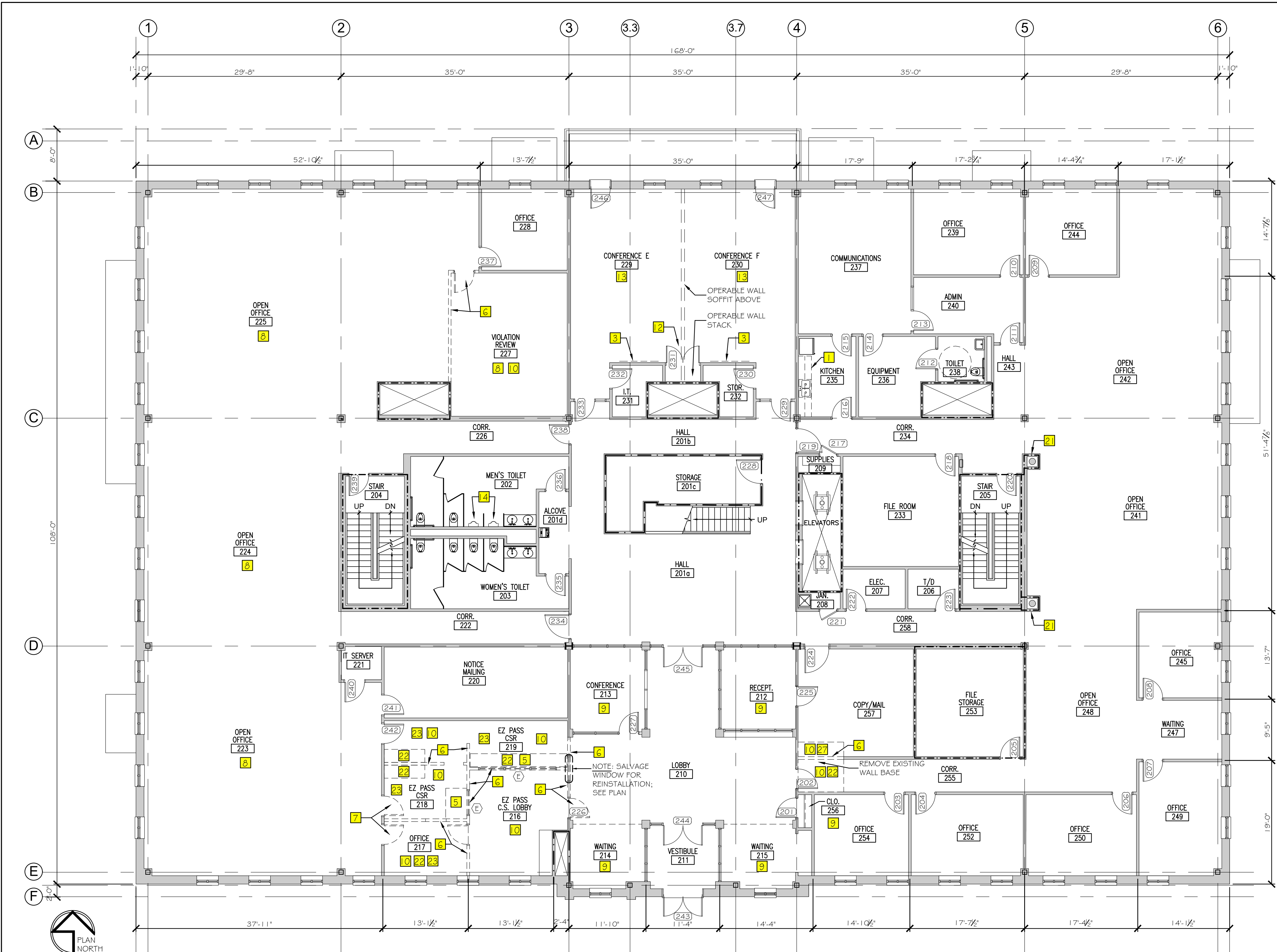
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
EXISTING/DEMOLITION
FIRST FLOOR PLAN

CONTRACT: 2023.10


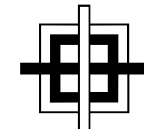
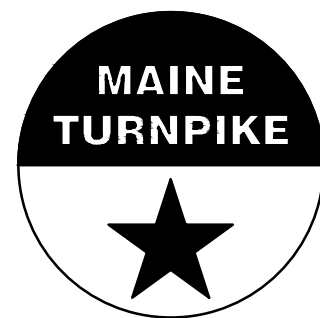
SHEET NUMBER: AD-1

9 OF 70



DEMOLITION NOTES LEGEND

- 1
- REMOVE EXISTING COUNTERTOPS AND SINK/FAUCET. REMOVE EXISTING DOOR AND DRAWER FRONTS AT ALL CABINETS. PREP CABINETS FOR NEW DOOR AND DRAWER FRONTS, NEW HINGES, AND NEW PULLS. REFRIGERATOR SHALL BE REMOVED AND RE-INSTALLED BY OWNER.
- 2
- REMOVE EXISTING VCT FLOORING AND VB IN ITS ENTIRETY. SEE PLAN AND FINISH SCHEDULE FOR NEW WORK, INCLUDING VB.
- 3
- REMOVE EXISTING GYPSUM BOARD FOR INSTALLATION OF NEW IN-WALL BLOCKING AND POWER/COMMUNICATIONS WIRING AT AUDIO-VISUAL EQUIPMENT & DEVICES. SEE PLAN AND SCHEDULES FOR PATCHING AND FINISHES. SEE ELECTRICAL AND AUDIO-VISUAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE BLOCKING LOCATION & SIZE w/ AV INSTALLER.
- 4
- REMOVE EXISTING CARPET TO FACILITATE INSTALLATION OF NEW LOW-PROFILE "CONNECT-TRAC" POWER & NETWORK CABLE SYSTEM TO CENTER OF ROOM. SEE PLAN AND SCHEDULE FOR PATCHING AND FINISHES. SEE ELECTRICAL AND AUDIO-VISUAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- 5
- REMOVE EXISTING WORKSURFACE AND SUPPORTS IN THEIR ENTIRETY. PREP FOR NEW WORK - SEE PLAN. SEE ELECTRICAL FOR POWER AND NETWORK ADDITIONAL REQUIREMENTS.
- 6
- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, AND FRAMES. PATCH ADJACENT SURFACES AT REMOVALS TO MATCH EXISTING. PREP FOR NEW WORK.
- 7
- REMOVE EXISTING DOOR AND FRAME. PREP FOR NEW WORK.
- 8
- OWNER SHALL REMOVE EXISTING CUBICLE FURNITURE SYSTEM VIA SEPARATE CONTRACTOR PER PHASES. COORDINATE POWER AND NETWORK DISCONNECTS WITH OWNER.
- 9
- REMOVE EXISTING CARPET. PREP FOR NEW WORK.
- 10
- REMOVE EXISTING SUSPENDED CEILING. PREP FOR NEW SUSPENDED CEILING SYSTEM. SALVAGE SELECT EXISTING DEVICES TO BE REINSTALLED IN NEW WORK. SEE ELECTRICAL FOR LIGHTING, POWER, AND ADDITIONAL REQUIREMENTS.
- 11
- REMOVE EXISTING PARTITION FOR NEW OPENING. PATCH ADJACENT SURFACES AT REMOVALS TO MATCH EXISTING. PREP FOR NEW WORK.
- 12
- REMOVE EXISTING DOORS. SEE PLAN AND SCHEDULE FOR NEW WORK. REINSTALL DOORS.
- 13
- CORE EXISTING FLOOR FOR NEW ELECTRICAL POWER/NETWORK BOX. SEE ELECTRICAL DRAWINGS. COORDINATE WITH LOCATION OF IN-SLAB PARTIAL RADIANT HEAT SYSTEM. PATCH CARPET FLOORING WITH MAINTENANCE STOCK PROVIDED BY OWNER.
- 14
- REFER TO MECHANICAL/PLUMBING DRAWINGS FOR NEW ESCUTCHEON PLATE AT REPLACED URINAL. NEW PLATE SHALL BE SIZED TO EXTEND ONTO EXISTING TILE FINISH TO REMAIN. UTILIZE OWNER TILE MAINTENANCE STOCK AS REQUIRED FOR UNIFORM FINISH APPEARANCE.
- 15
- REMOVE EXISTING GRANITE PAVERS, BASE MATERIAL, AND BITUMINOUS PAVEMENT. SALVAGE GRANITE PAVERS FOR OWNER ON PALLETS WRAPPED IN PROTECTIVE COVER. OWNER SHALL TRANSPORT PALLETS TO OWNER'S STORAGE LOCATION. PREP AREA FOR NEW BROOMED FINISHED CONCRETE SLAB PER SPECIAL PROVISION 608.
- 16
- REMOVE EXISTING CONCRETE PAVERS, TACTILE STRIP, BASE MATERIAL, AND BITUMINOUS PAVEMENT. SALVAGE PAVERS IN GOOD CONDITION TO BE UTILIZED FOR REPLACEMENT OF BROKEN PAVERS AT UPPER PATIO LEVEL. PREP AREA FOR NEW BROOMED FINISHED CONCRETE SLAB PER SPECIAL PROVISION 608.
- 17
- REPAIR EXISTING MASONRY WALL AND CAP JOINTS AT ENTIRE PATIO WALL PERIMETER. ROUT AND REPOINT; TOOL TO MATCH EXISTING. MATCH EXISTING JOINT COLOR.
- 18
- REPAIR EXISTING MASONRY JOINTS AT LOWER 48" OF ALL FOUR (4) BUILDING PIERS. ROUT AND REPOINT; TOOL TO MATCH EXISTING BUILDING. MATCH EXISTING JOINT COLOR. SEE SHEET A-4 FOR ADDITIONAL PHOTO DETAILS.
- 19
- REPAIR THREE HUNDRED (300) SQUARE FEET OF MASONRY JOINTS AT FAÇADE OF BUILDING. REPAIR AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, SECOND FLOOR FAÇADE AT PATIO LEVEL, THIRD FLOOR BALCONY LEVEL, THIRD FLOOR WALLS ADJACENT TO AND ABOVE BALCONY. ROUT AND REPOINT; TOOL TO MATCH EXISTING BUILDING. MATCH EXISTING JOINT COLOR. LOCATIONS OF JOINT REPAIRS SHALL BE AS DIRECTED BY THE OWNER'S RESIDENT ENGINEER. SEE SHEET A-4 FOR ADDITIONAL PHOTO DETAILS.
- 20
- REPLACE OR TRIM / REATTACH DETACHED VINYL COVE BASE AT VARIOUS LOCATIONS THROUGHOUT FIRST FLOOR AREAS, TO BE FIELD VERIFIED WITH ARCHITECT.
- 21
- REMOVE EXISTING PARTITION FOR MECHANICAL WORK. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
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- 27
- REMOVE EXISTING VCT FLOORING & WALL BASE. PREP FOR NEW WORK.
- 28
- REMOVE & REPLACE FLOORING & VB AT FILL AREA OF DEPRESSED FLOOR AT COLUMN AREA.
- 29
- ALTERNATE: REMOVE EXISTING CONCRETE PAVERS IN THEIR ENTIRETY. PREP AREA FOR NEW CONCRETE SLAB.

Scale: 1/8"=1'-0"				Designed by: <div></div> Michael F. Hays, RA				<div> GRANT HAYS ASSOCIATES ARCHITECTURE & INTERIOR DESIGN P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900 www.granthays.com</div>				<div> THE GOLD STAR MEMORIAL HIGHWAY</div>				MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT EXISTING/DEMOLITION SECOND FLOOR PLAN			
No.	Revision	By	Date	CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB				ARCHITECTURE & INTERIOR DESIGN				MTA PROJECT MANAGER: JACQUELINE HANSEN				CONTRACT: 2023.10			
				Designed	By	Date	Checked	By	Date					SHEET NUMBER: AD-2					
				Drawn	MGK	02/26/24	In Charge of							10 OF 70					



- DEMOLITION NOTES LEGEND**
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Scale: 1/8"=1'-0"

No.	Revision	By	Date

Designed by:

Michael F. Hays, RA

CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		

GRANT HAYS ASSOCIATES

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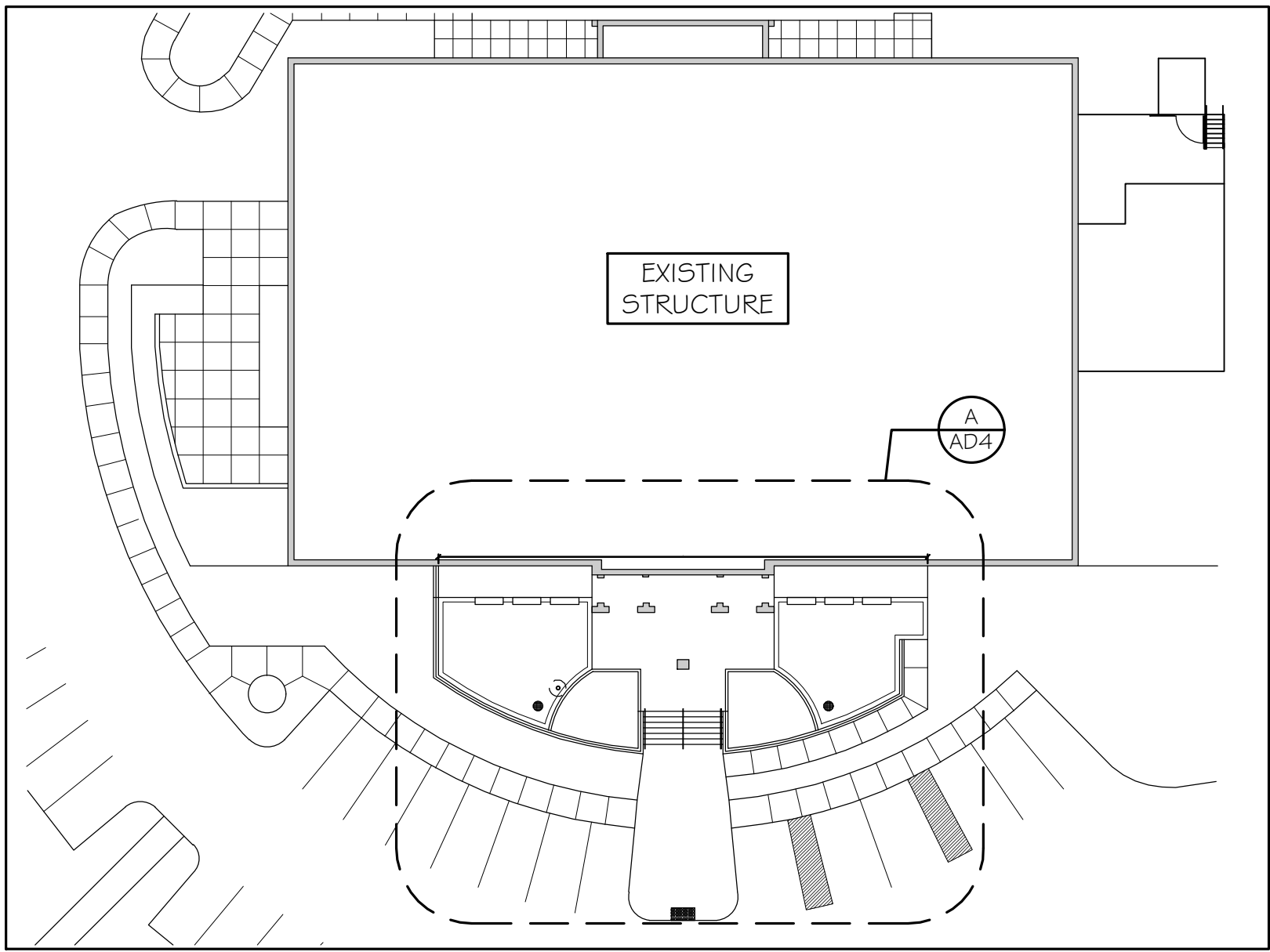
THE GOLD STAR MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
EXISTING/DEMOLITION
THIRD FLOOR PLAN

SHEET NUMBER: AD-3
11 OF 70

CONTRACT: 2023.10



① PATIO PLAN AT SECOND FLOOR 1/32" = 1'-0"

EXTERIOR WINDOWS

1. REMOVE ALL EXISTING PERIMETER SEALANT AT ALL EXTERIOR WINDOWS.
2. PREP FOR NEW WORK.
3. INSTALL NEW PERIMETER SEALANT AT ALL EXTERIOR WINDOWS.

GENERAL NOTES

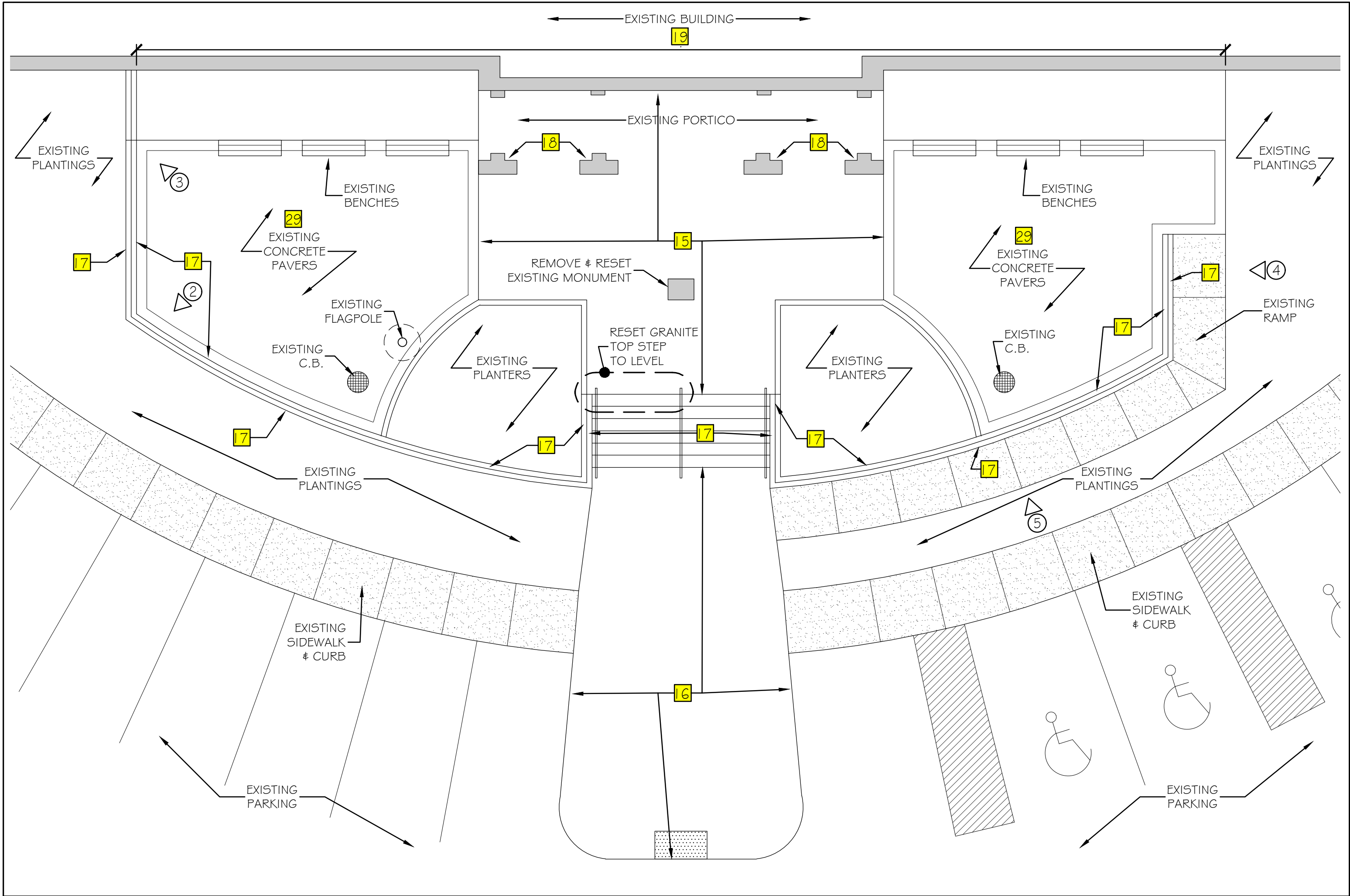
1. PROTECT EXISTING PLANTINGS, GRANITE STEPS, MONUMENT, AND GRANITE WALL CAPS DURING MASONRY AND CONCRETE WORK.
2. REMOVE AND RE-INSTALL LIGHT FIXTURES, HANDRAILS, SIGNAGE, AND APPURTENANCES FROM MASONRY WALLS PRIOR TO COMMENCEMENT OF MASONRY WORK. OBTAIN RESIDENT ENGINEER'S APPROVAL OF COMPLETION OF MASONRY WORK PRIOR TO REINSTALLATION.



② EXISTING TYPICAL PATIO WALL CONDITION 17



③ EXISTING TYPICAL PATIO WALL CONDITION 17



④ EXTERIOR PATIO DEMOLITION PLAN 1/8" = 1'-0"



④ EXISTING ADA RAMP WALL CONDITION 17



⑤ EXISTING ADA RAMP WALL CONDITION 17

DEMOLITION NOTES LEGEND

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Scale: 1/8"=1'-0"

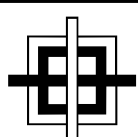
Designed by:

Michael F. Hays, RA



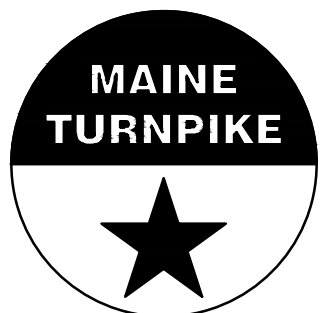
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



GRANT HAYS
ASSOCIATES

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THE GOLD STAR
MEMORIAL HIGHWAY

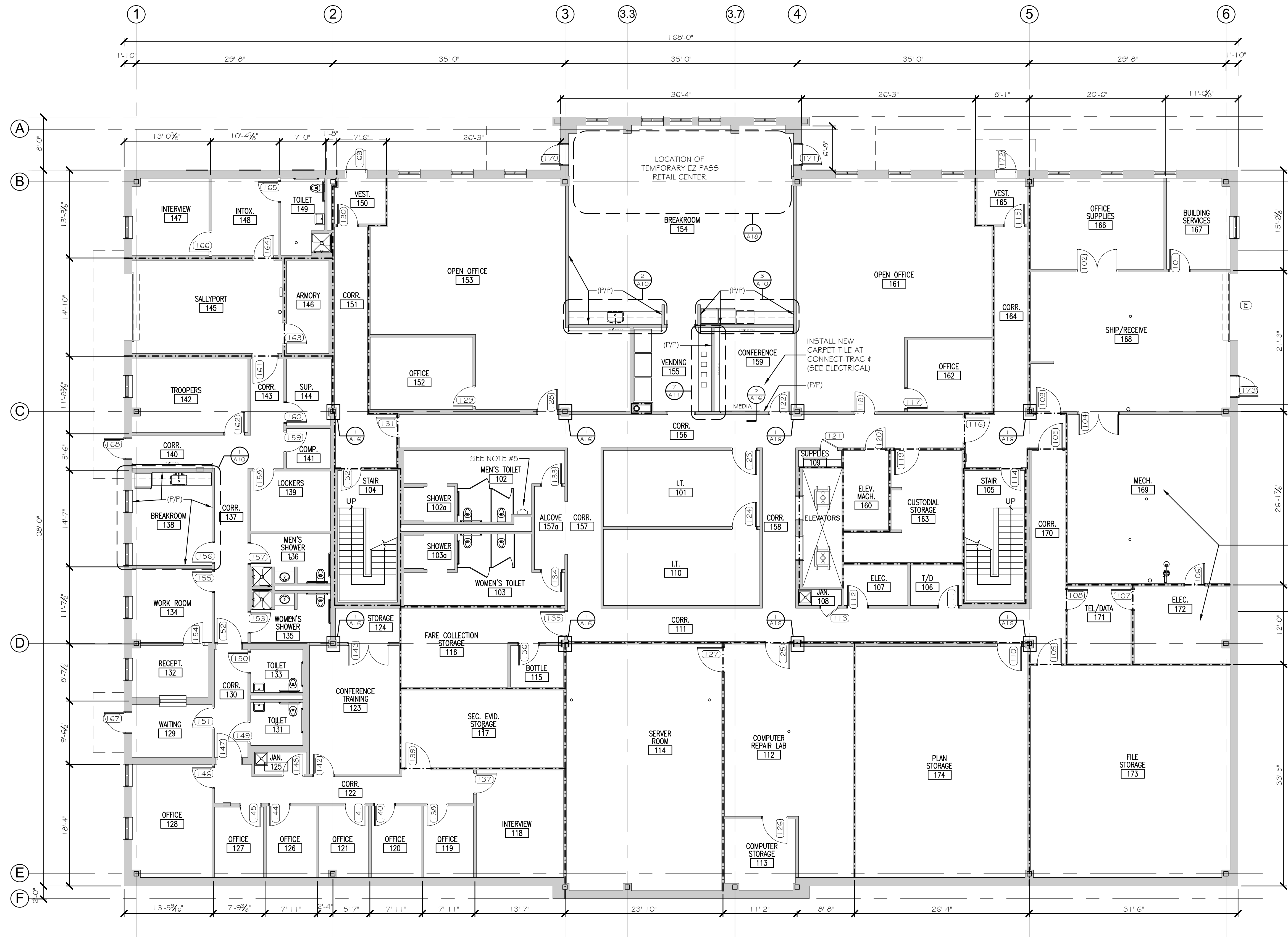
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
EXISTING/DEMOLITION
PATIO PLAN

CONTRACT: 2023.10

SHEET NUMBER: AD-4

12 OF 70



SEE MECHANICAL & ELECTRICAL
DRAWINGS FOR WORK IN THIS
AREA. SEE SHEET A-16 FOR
PATCHING & REPAIR DETAILS

GENERAL NOTES

1. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
2. REPLACE SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID COMPONENTS DAMAGED OR SOILED DURING CONSTRUCTION OPERATIONS. MATCH EXISTING.
3. PROTECT EXISTING FLOORING FINISHES DURING CONSTRUCTION OPERATIONS.
4. REPAIR EXISTING ELEVATOR OPENING PAINTED FRAMES.
5. REPAIR WALL TILE ARE AT NEW URINAL AS REQUIRED FOR UNIFORM APPEARANCE w/ ADJACENT SURFACES.
6. SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.

Scale: 1/8"=1'-0"

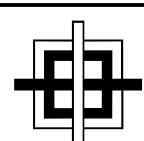
Designed by:

Michael F. Hays, RA



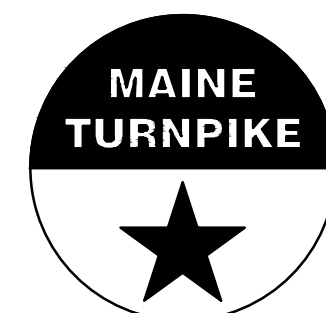
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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THE GOLD STAR
MEMORIAL HIGHWAY

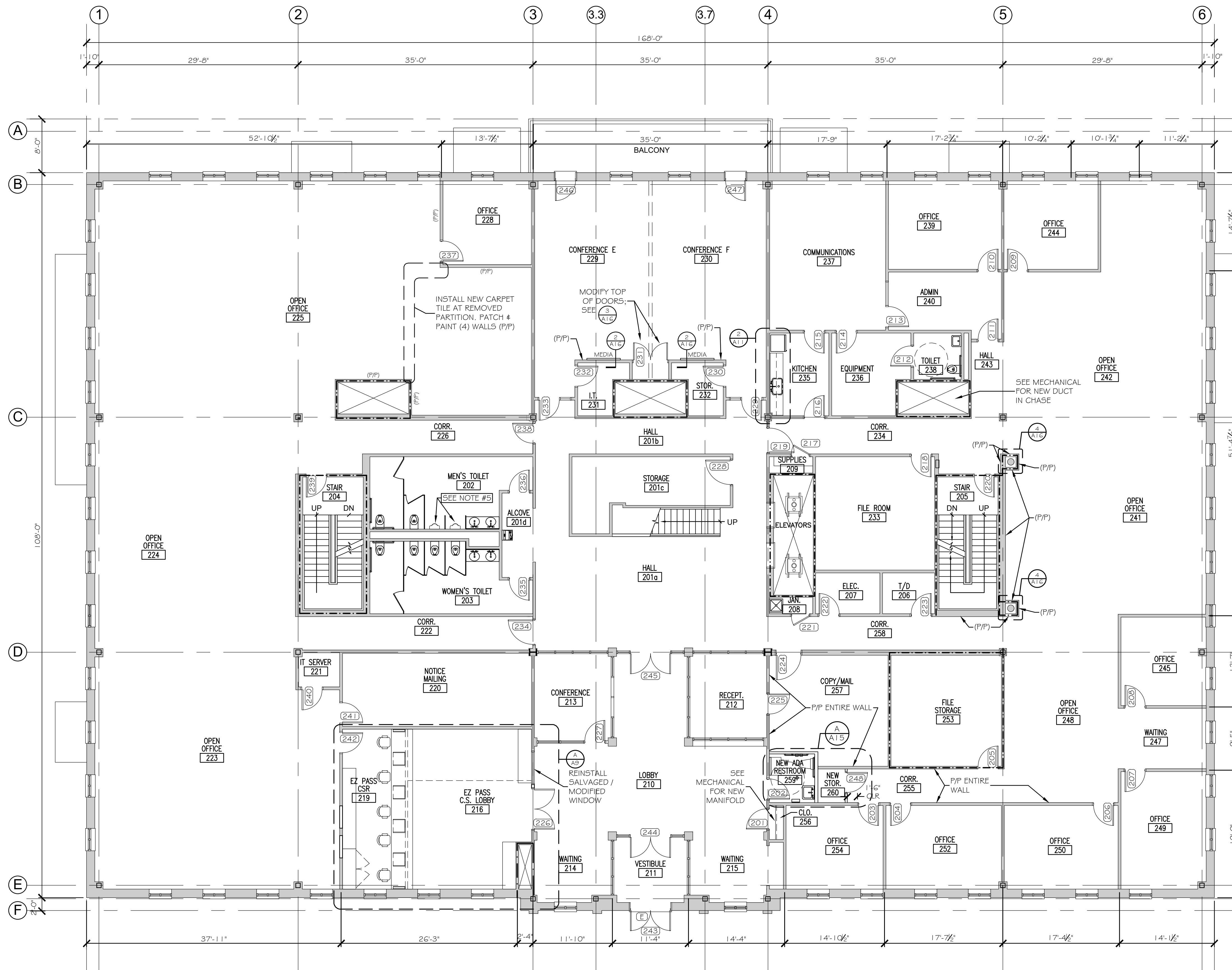
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
PROPOSED FIRST FLOOR PLAN

CONTRACT: 2023.10

SHEET NUMBER: A-1

13 OF 70



GENERAL NOTES

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6. SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
7. REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

Scale: 1/8"=1'-0"

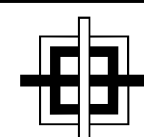
Designed by:

Michael F. Hays, RA



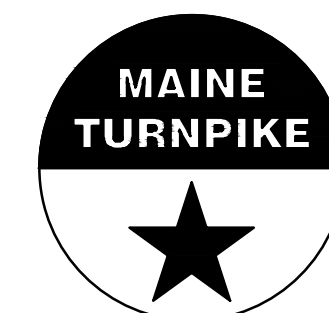
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date	By	Date	
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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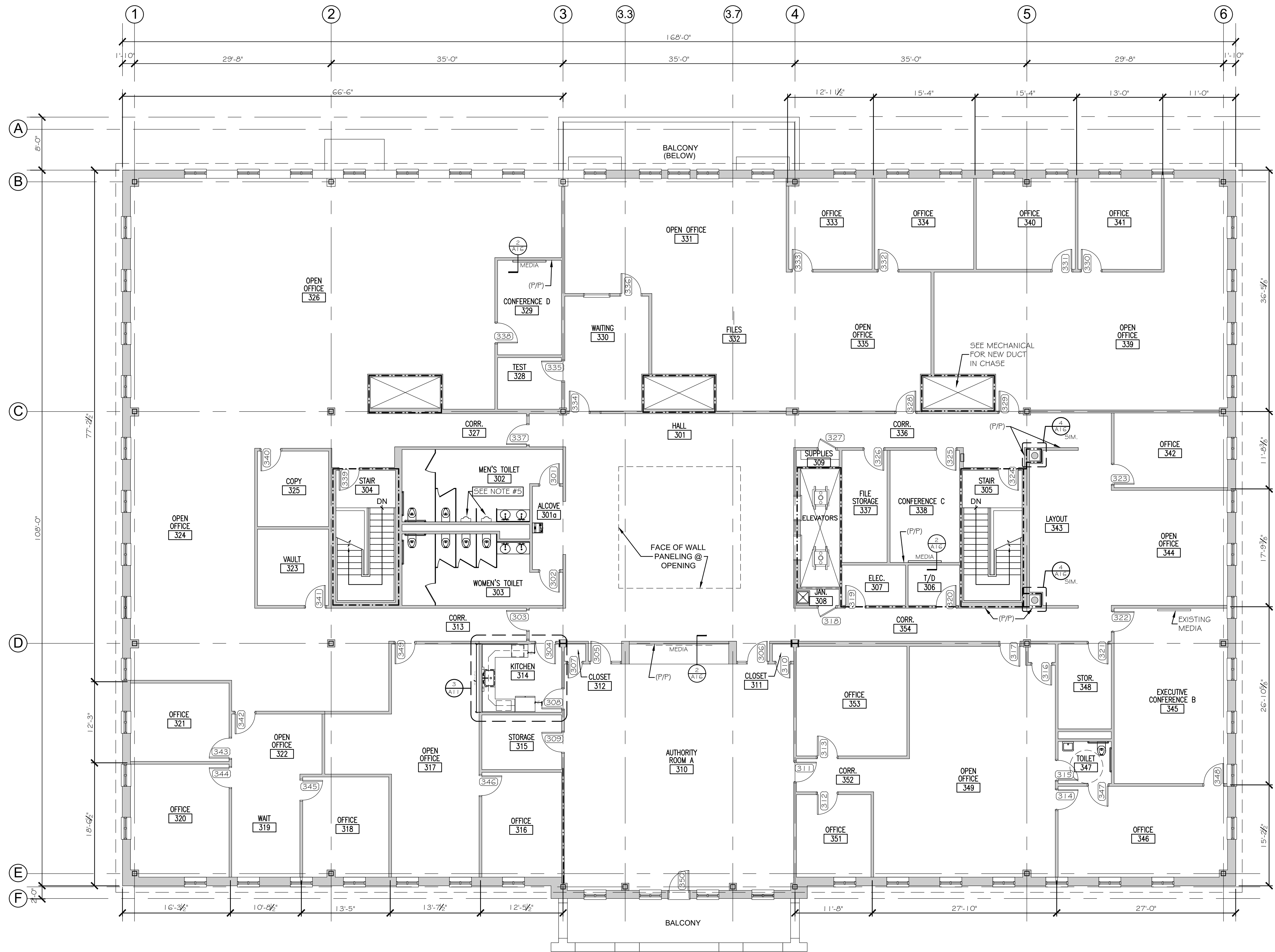
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
PROPOSED SECOND FLOOR PLAN

CONTRACT: 2023.10

SHEET NUMBER: A-2

14 OF 70



- GENERAL NOTES
1. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA; U.N.O. COLOR SHALL MATCH EXISTING.
 2. REPLACE SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID COMPONENTS DAMAGED OR SOILED DURING CONSTRUCTION OPERATIONS. MATCH EXISTING.
 3. PROTECT EXISTING FLOORING FINISHES DURING CONSTRUCTION OPERATIONS.
 4. REPAINT EXISTING ELEVATOR OPENING PAINTED FRAMES.
 5. REPAIR WALL TILE ARE AT NEW URINAL AS REQUIRED FOR UNIFORM APPEARANCE W/ ADJACENT SURFACES.
 6. SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
 7. REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

Scale: 1/8"=1'-0"

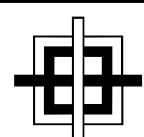
Designed by:

Michael F. Hays, RA



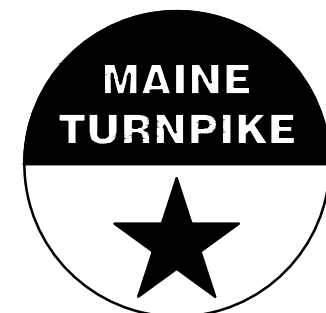
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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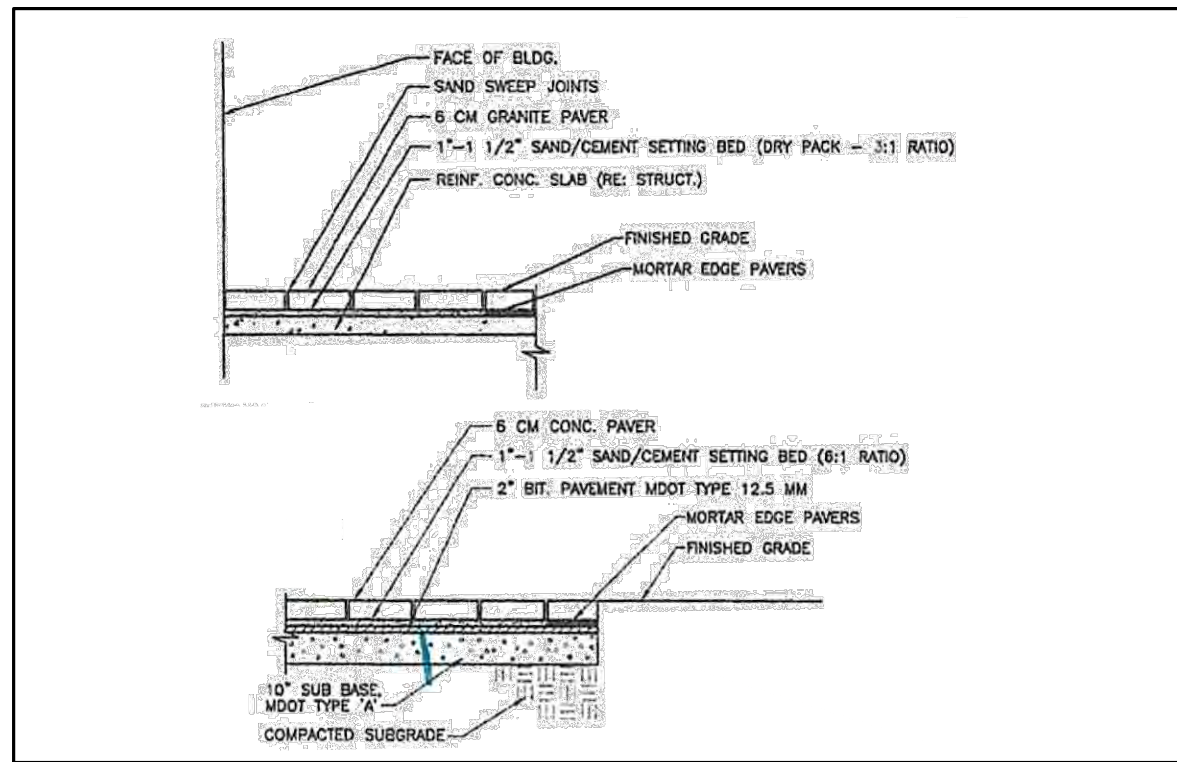
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
PROPOSED THIRD FLOOR PLAN

CONTRACT: 2023.10

SHEET NUMBER: A-3

15 OF 70



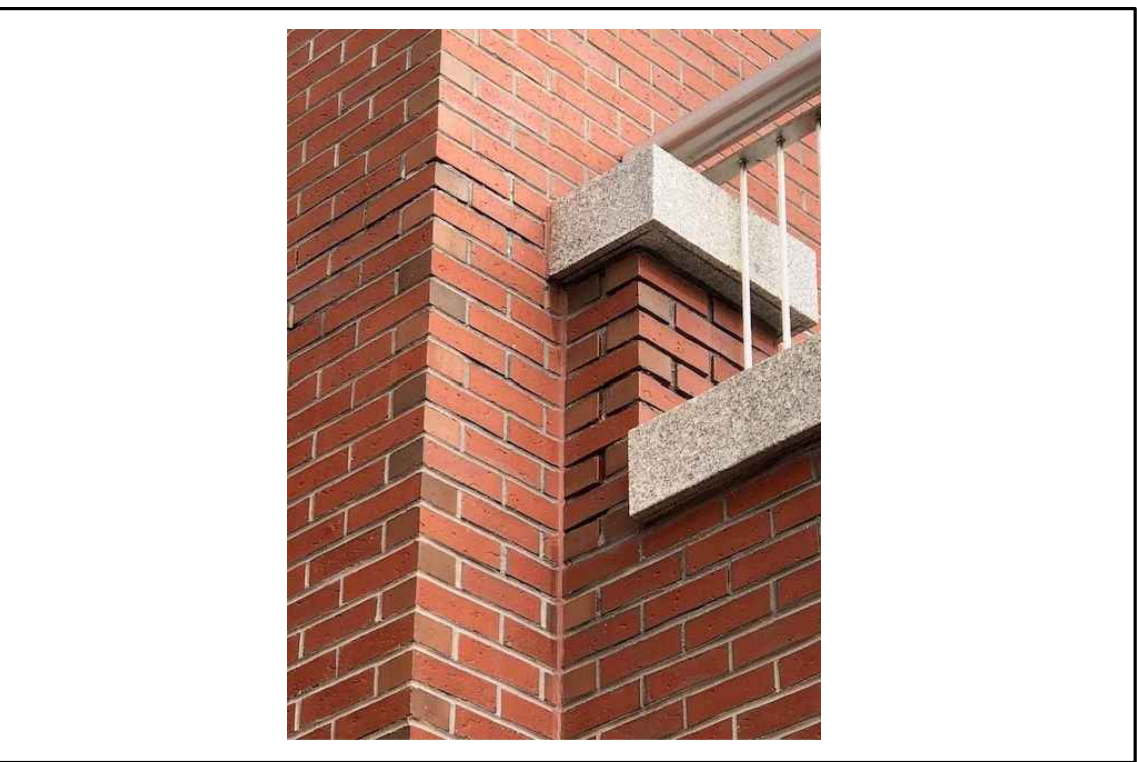
① EXISTING PAVER DETAIL - FOR REFERENCE ONLY



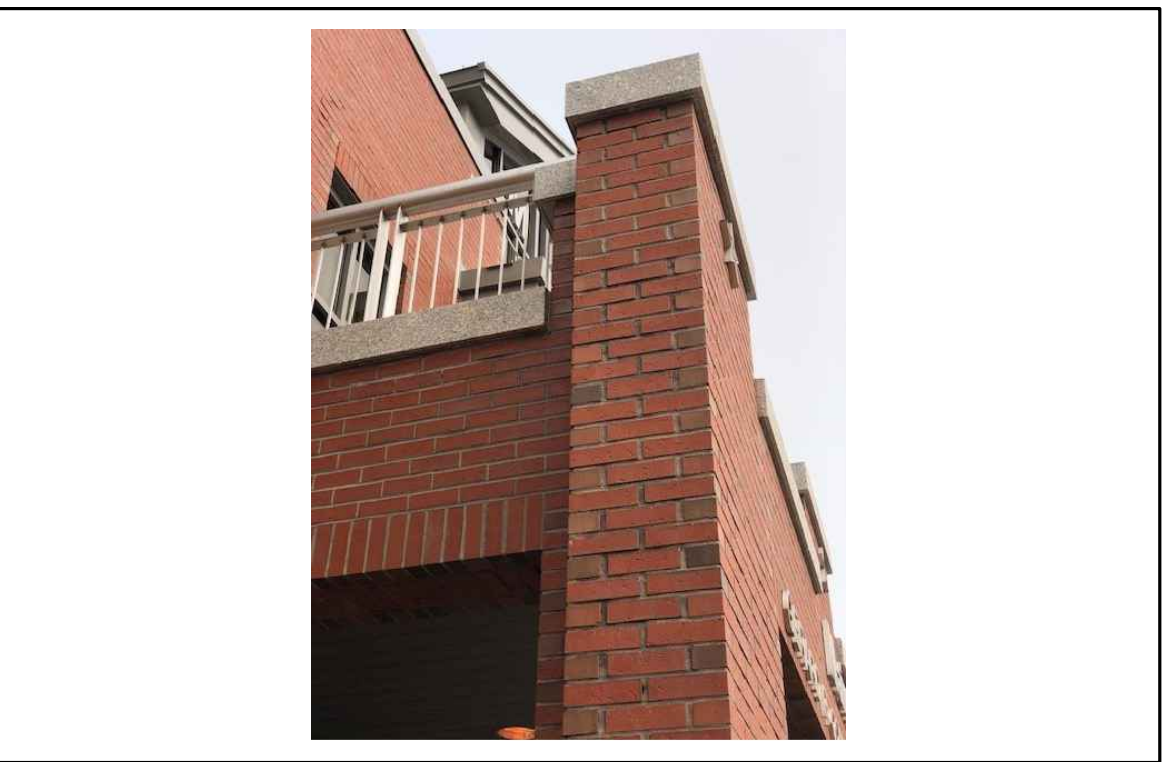
② EXISTING DETECTABLE WARNING STRIP - FOR REFERENCE ONLY



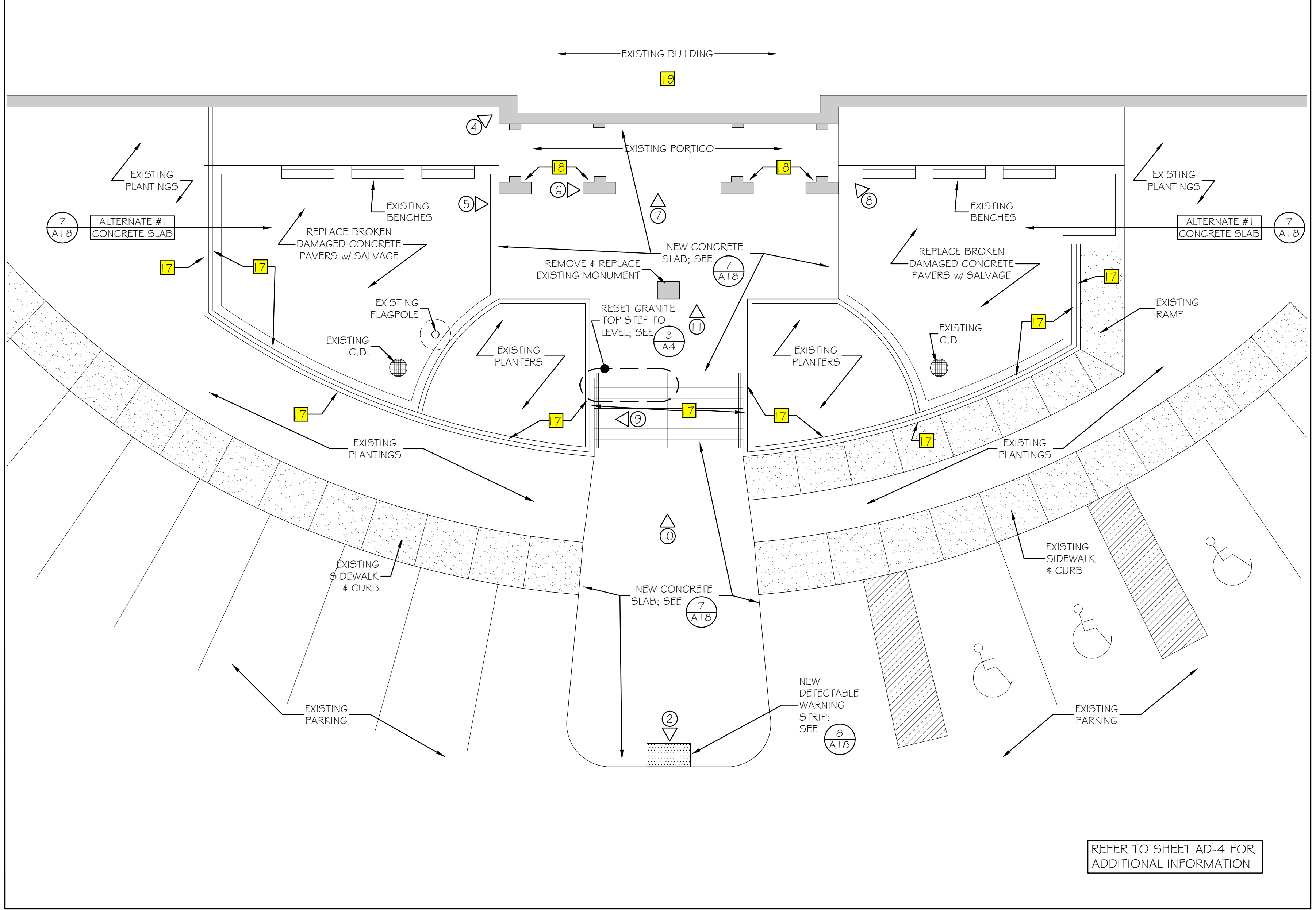
③ RESET EXISTING GRANITE STEP/PAVERS



④ EXISTING BUILDING FACADE



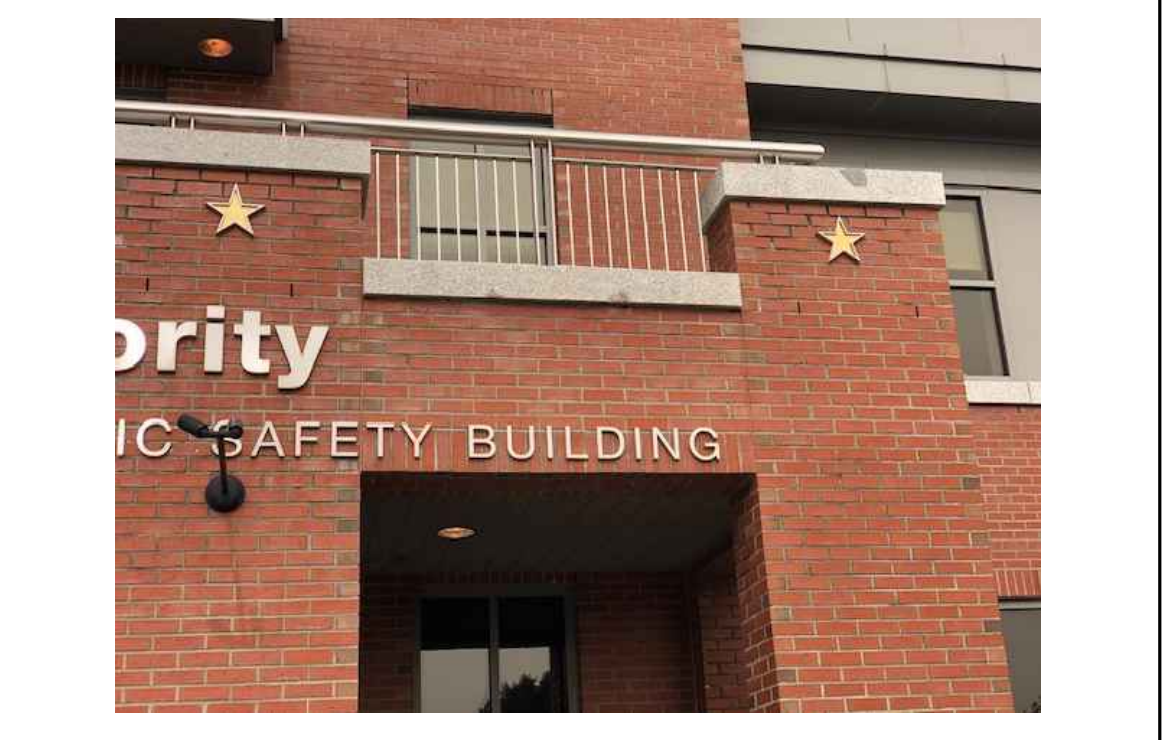
⑤ EXISTING BUILDING FACADE



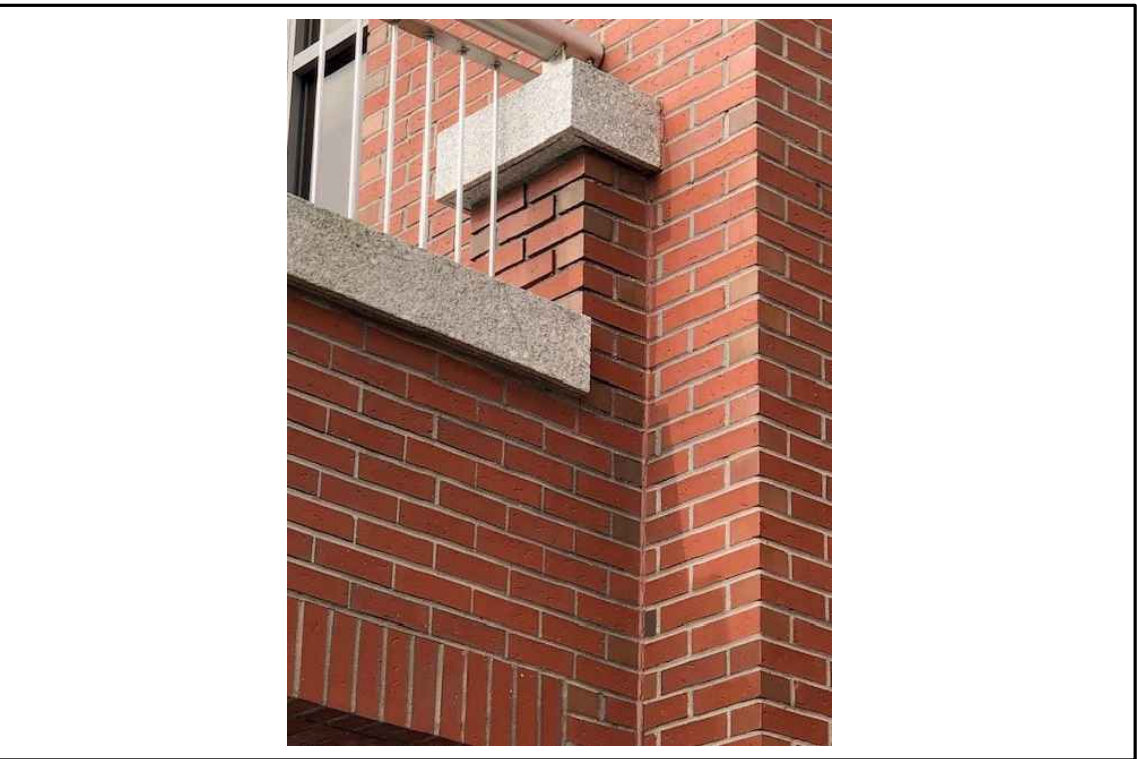
⑥ EXTERIOR PATIO PROPOSED PLAN



⑦ EXISTING BUILDING PIER FACADE



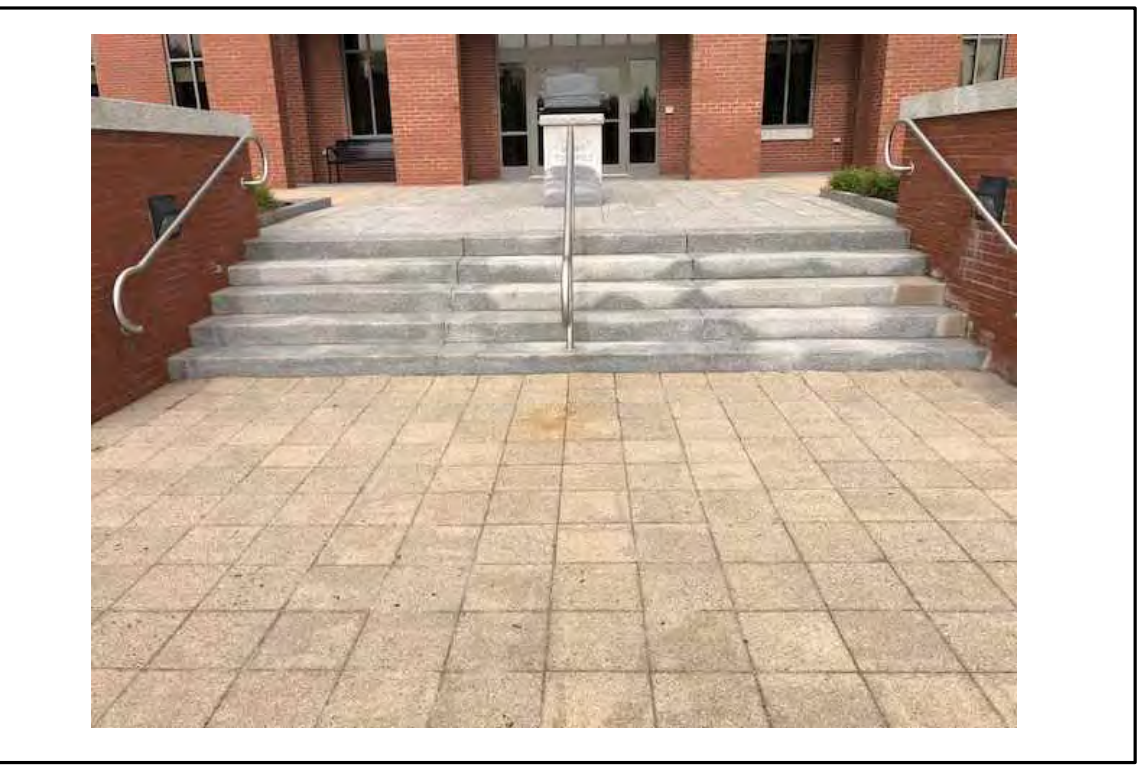
⑧ EXISTING BUILDING FACADE



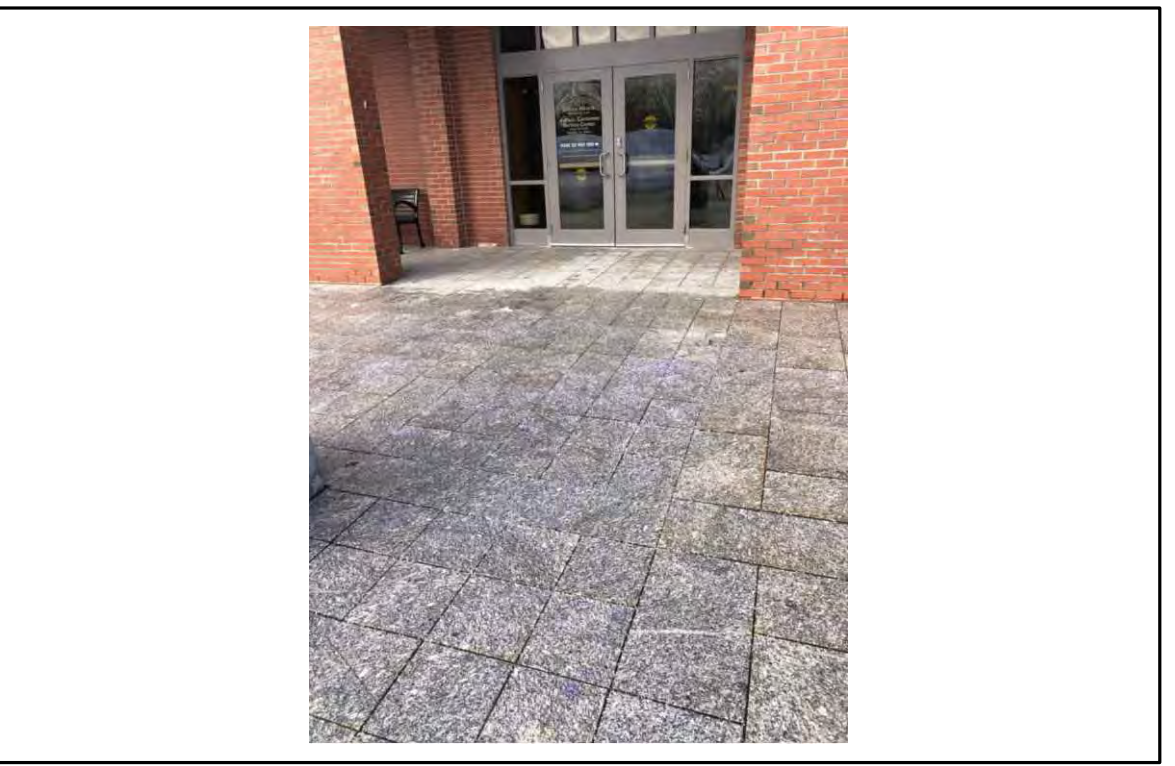
⑨ EXISTING BUILDING FACADE



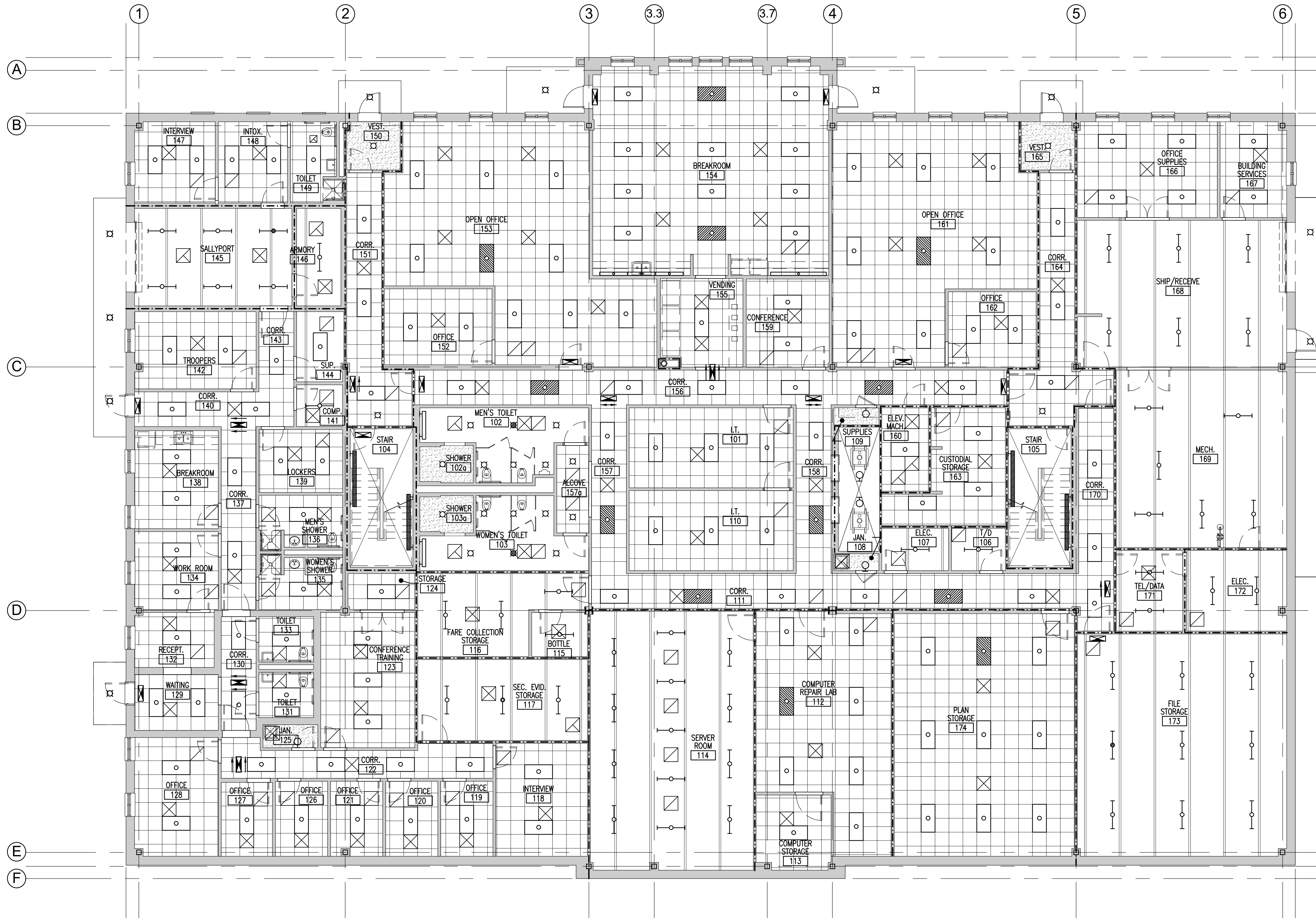
⑩ EXISTING STAIR MASONRY WALL



⑪ EXISTING GRANITE STEPS



⑫ EXISTING GRANITE PAVERS



GENERAL NOTES

1. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
2. REPLACE SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID COMPONENTS DAMAGED OR SOILED DURING CONSTRUCTION OPERATIONS. MATCH EXISTING.
3. PROTECT EXISTING FLOORING FINISHES DURING CONSTRUCTION OPERATIONS.
4. REPAIR EXISTING ELEVATOR OPENING PAINTED FRAMES.
5. REPAIR WALL TILE ARE AT NEW URINAL AS REQUIRED FOR UNIFORM APPEARANCE w/ ADJACENT SURFACES.
6. SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
7. REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

LEGEND

- | | |
|--|---|
| | EXISTING EXPOSED STRUCTURE (U.N.O.) |
| | EXISTING PAINTED GYPSUM BOARD (U.N.O.) |
| | EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE (U.N.O.) |

Scale: 1/8"=1'-0"

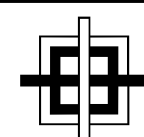
Designed by:

Michael F. Hays, RA



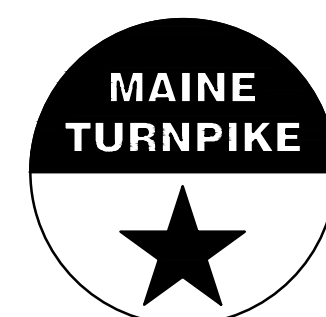
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

Designed	By	Date	Checked	By	Date
Drawn	MGK	02/26/24	In Charge of	MFH	02/26/24



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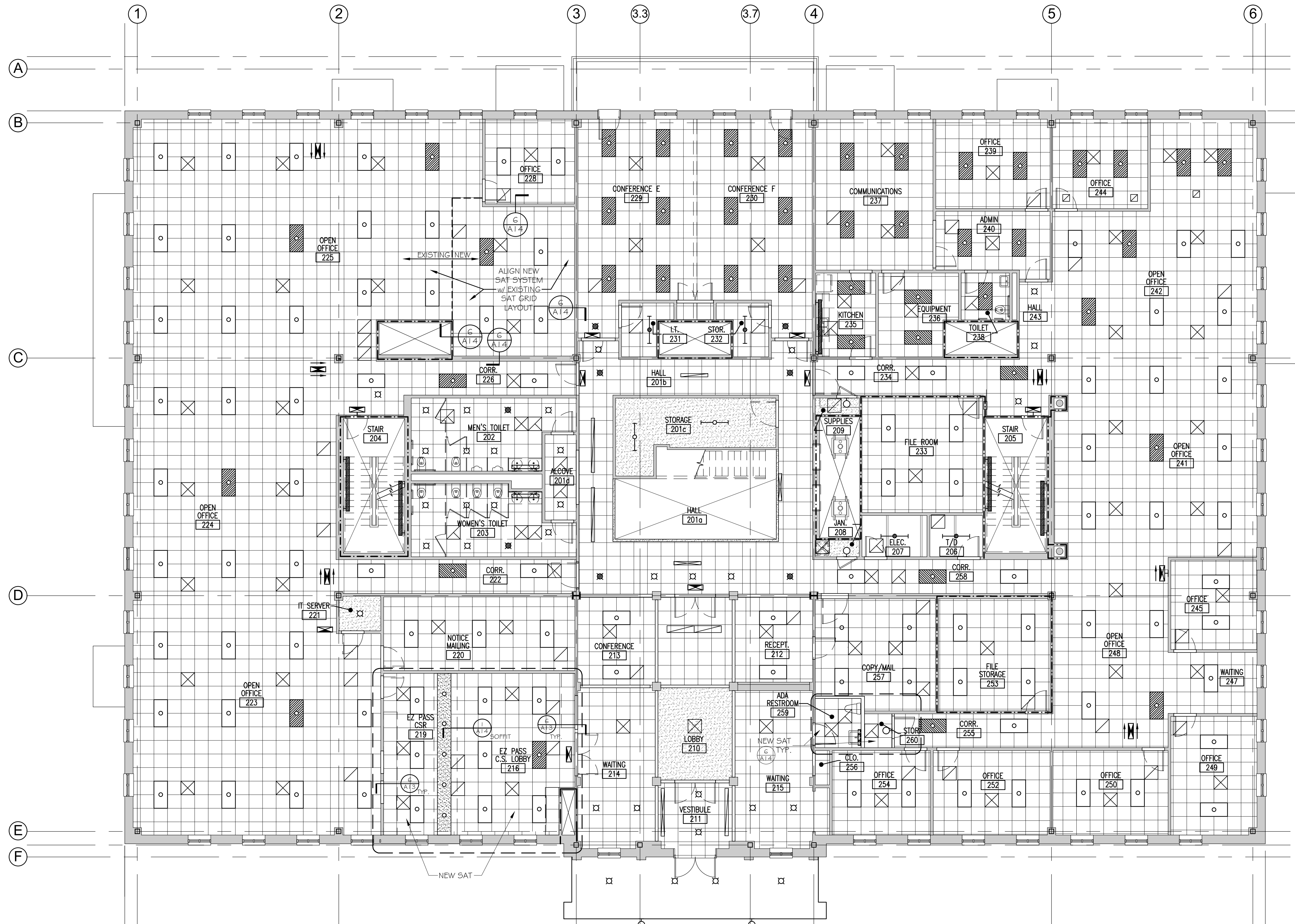
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT FIRST FLOOR REFLECTED CEILING PLAN

CONTRACT: 2023.10

SHEET NUMBER: A-5

17 OF 70



GENERAL NOTES

1. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
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6. SEE DETAIL 8-A1.3 FOR VCT JOINT CONDITIONS.
7. REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

LEGEND

- | | |
|--|---|
| | EXISTING EXPOSED STRUCTURE (U.N.O.) |
| | EXISTING PAINTED GYPSUM BOARD (U.N.O.) |
| | EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE (U.N.O.) |

Scale: 1/8"=1'-0"

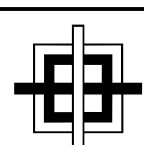
Designed by:

Michael F. Hays, RA



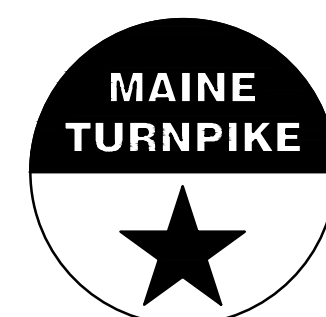
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

Designed	By	Date	Checked	By	Date
Drawn	MGK	02/26/24	In Charge of	MFH	02/26/24



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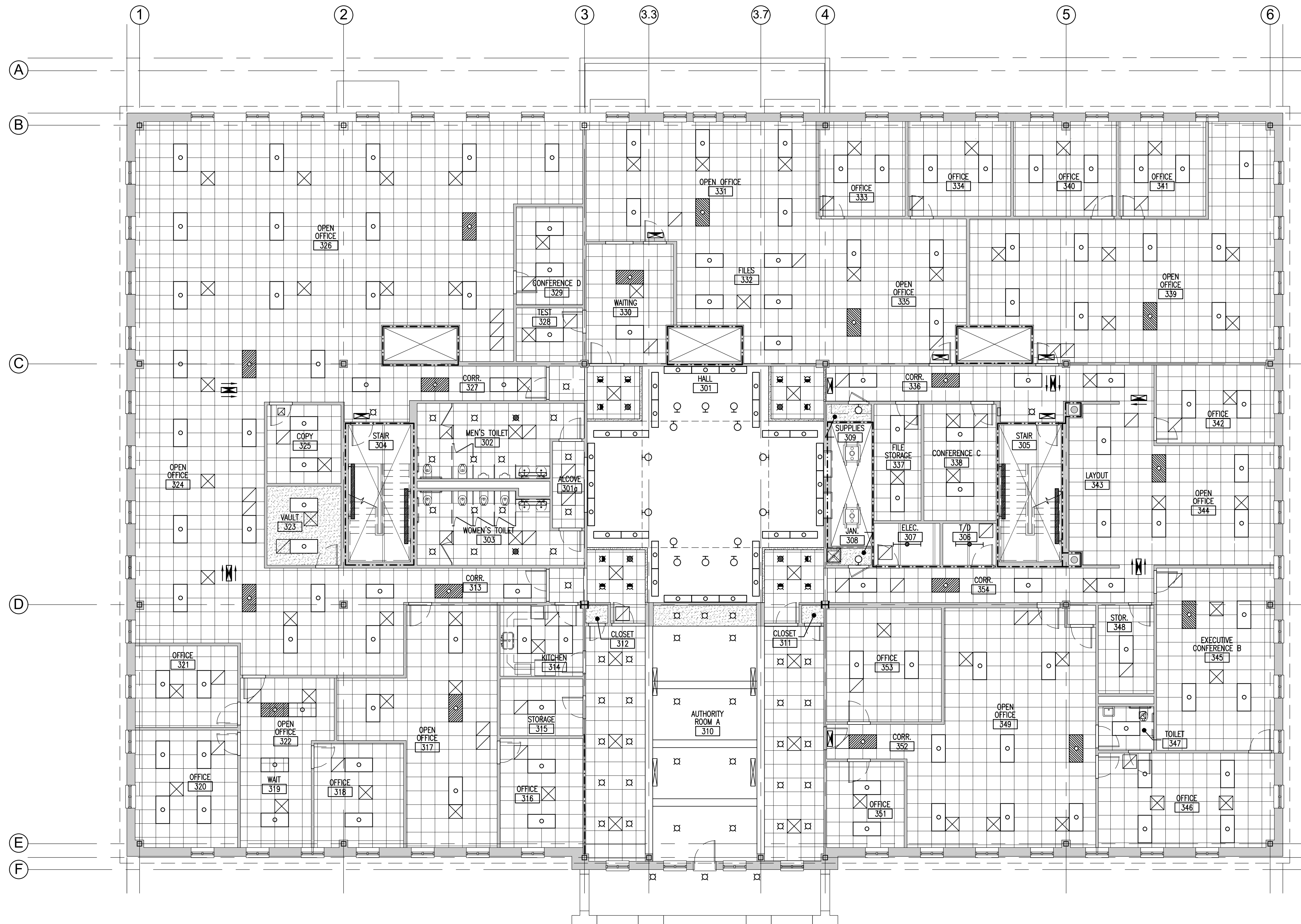
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
SECOND FLOOR
REFLECTED CEILING PLAN

CONTRACT: 2023.10

SHEET NUMBER: A-6

18 OF 70



GENERAL NOTES

1. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL, PLUMBING, AND/OR ELECTRICAL WORK IS DESIGNATED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
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6. SEE DETAIL 8-A13 FOR VCT JOINT CONDITIONS.
7. REPLACE SUSPENDED CEILING TILE AT ALL NEW RECESSED DOWNLIGHT FIXTURE LOCATIONS; SEE ELECTRICAL.

LEGEND

- | | |
|--|---|
| | EXISTING EXPOSED STRUCTURE (U.N.O.) |
| | EXISTING PAINTED GYPSUM BOARD (U.N.O.) |
| | EXISTING 2x2 SUSPENDED ACOUSTICAL CEILING TILE (U.N.O.) |

Scale: 1/8"=1'-0"

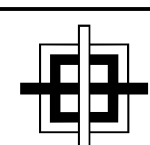
Designed by:

Michael F. Hays, RA



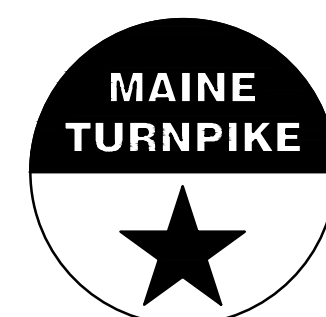
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

Designed	By	Date	Checked	By	Date
Drawn	MGK	02/26/24	In Charge of		



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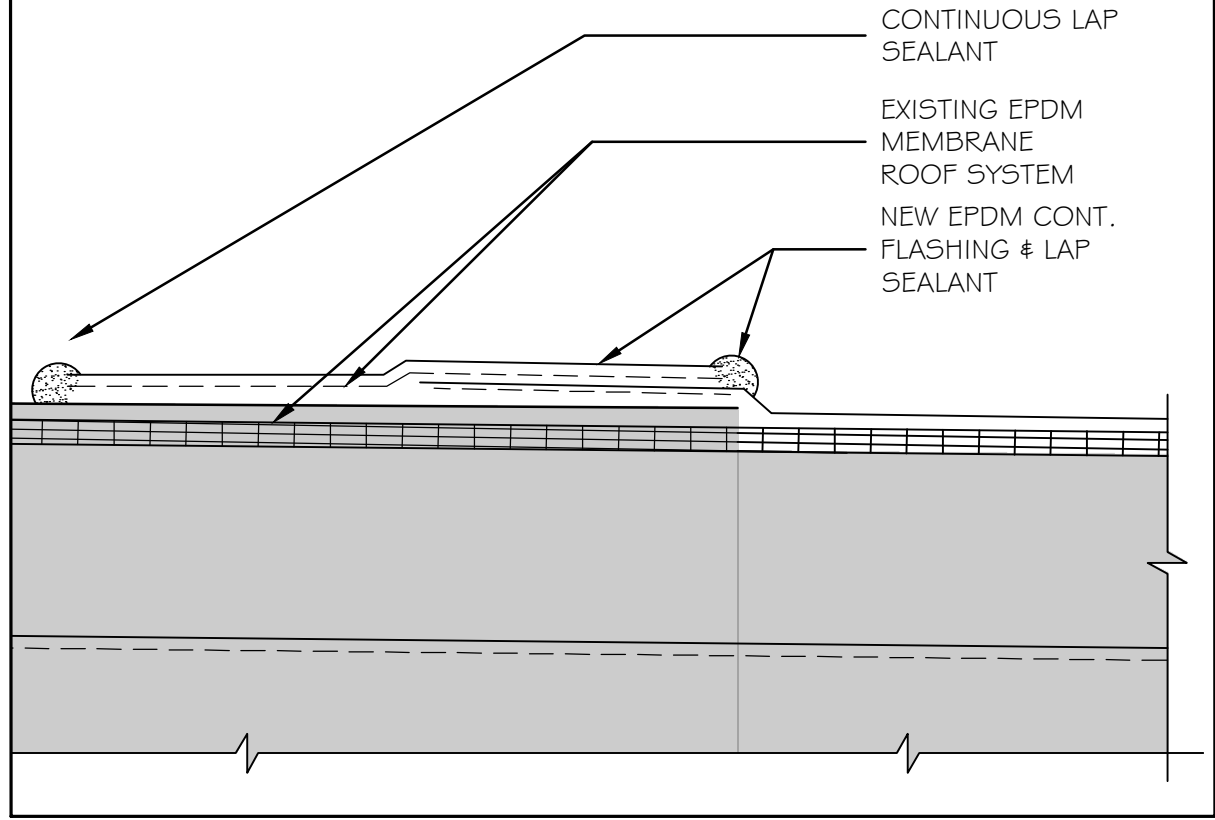
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
THIRD FLOOR
REFLECTED CEILING PLAN

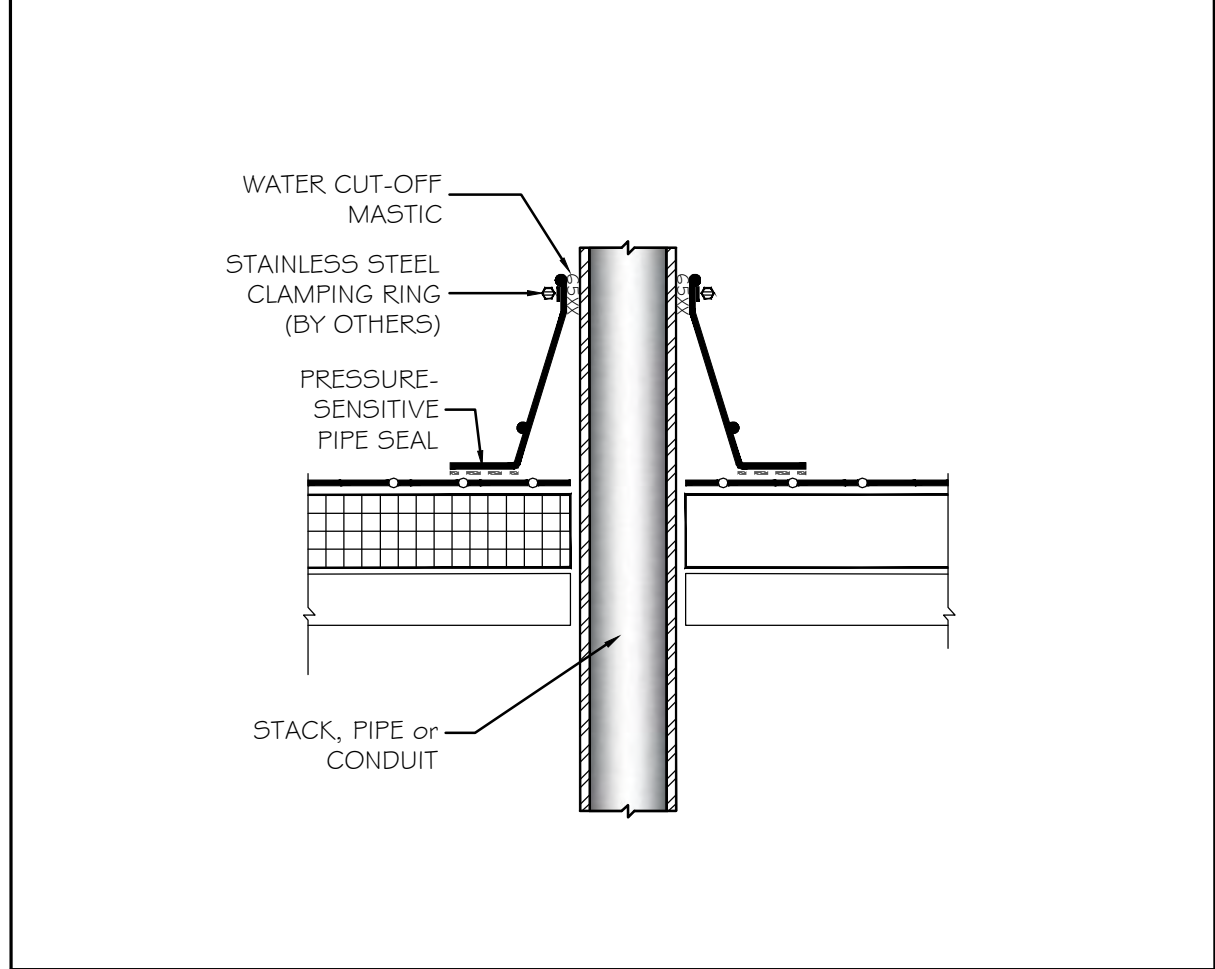
CONTRACT: 2023.10

SHEET NUMBER: A-7

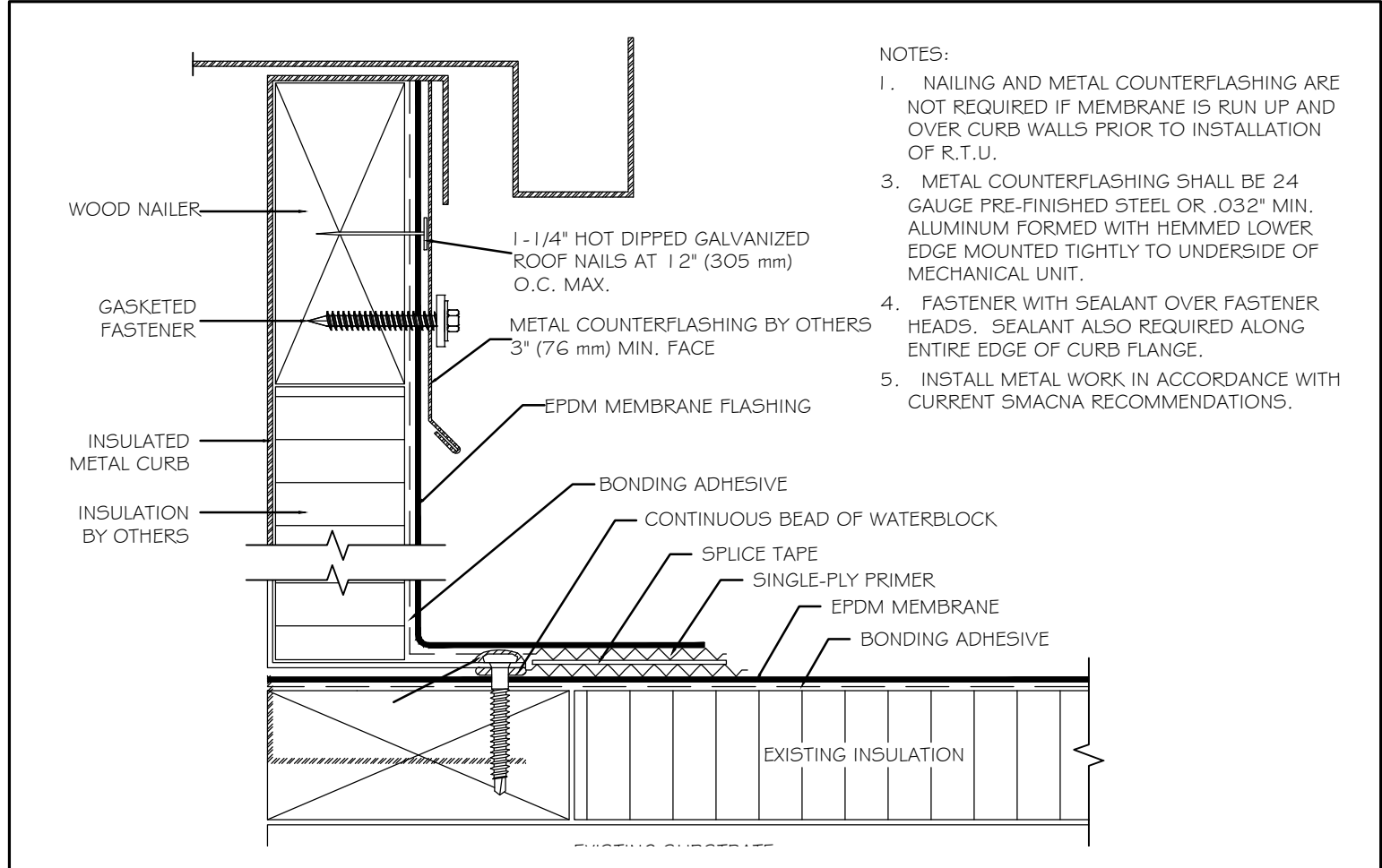
19 OF 70



① EPDM TRANSITION DETAIL 3" = 1'-0"

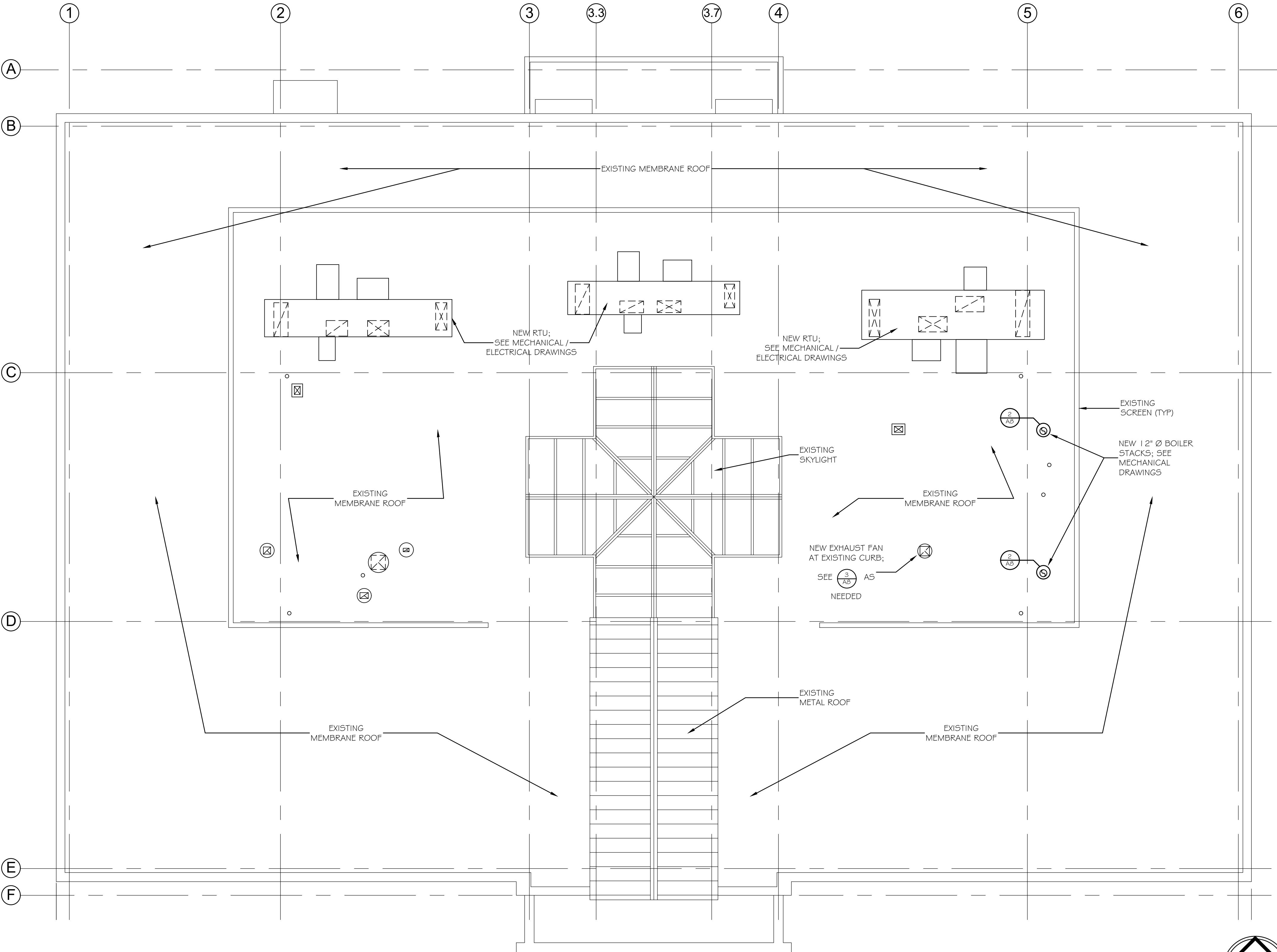


② PENETRATION SEAL 3" = 1'-0"



③ CURB DETAIL N.T.S.

- NOTES:
1. NAILING AND METAL COUNTERFLASHING ARE NOT REQUIRED IF MEMBRANE IS RUN UP AND OVER CURB WALLS PRIOR TO INSTALLATION OF R.T.U.
 3. METAL COUNTERFLASHING SHALL BE 24 GAUGE PRE-FINISHED STEEL OR .032" MIN. ALUMINUM FORMED WITH HEMMED LOWER EDGE MOUNTED TIGHTLY TO UNDERSIDE OF MECHANICAL UNIT.
 4. FASTENER WITH SEALANT OVER FASTENER HEADS. SEALANT ALSO REQUIRED ALONG ENTIRE EDGE OF CURB FLANGE.
 5. INSTALL METAL WORK IN ACCORDANCE WITH CURRENT SMACNA RECOMMENDATIONS.



PROPOSED ROOF PLAN
SCALE: 1/2" = 1'-0"



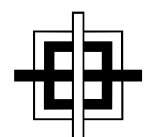
Scale: AS NOTED

Designed by:

Michael F. Hays, RA

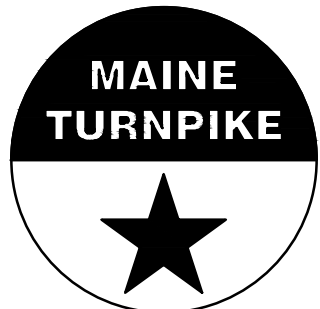
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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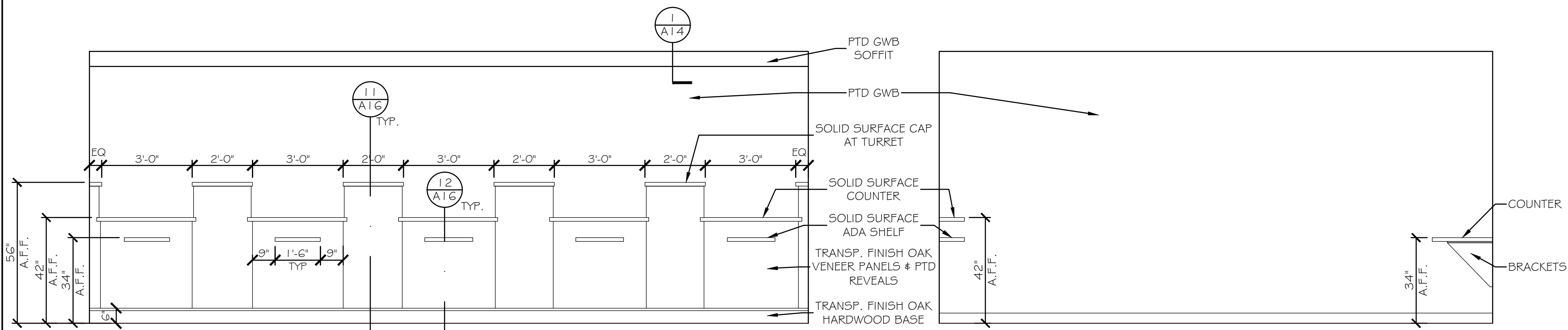
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
PROPOSED ROOF PLAN

CONTRACT: 2023.10

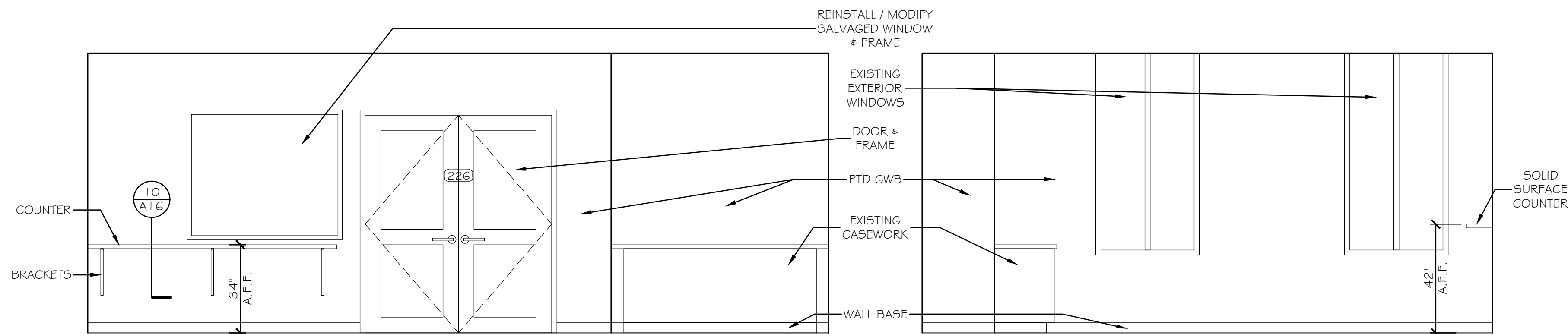
SHEET NUMBER: A-8

20 OF 70



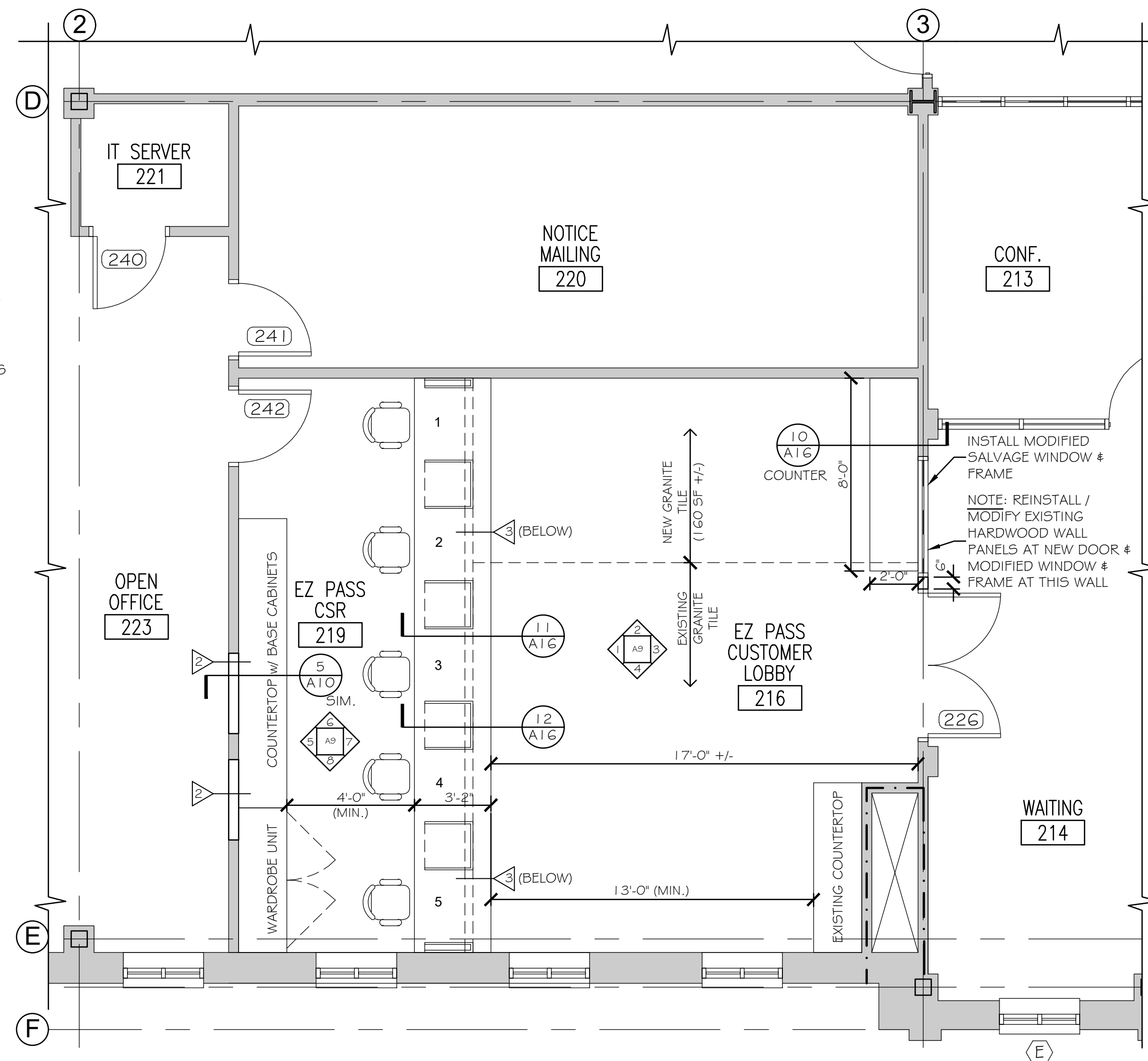
1 EZ PASS CUSTOMER LOBBY
SCALE: 3/8" = 1'-0"

2 EZ PASS CUSTOMER LOBBY
SCALE: 3/8" = 1'-0"

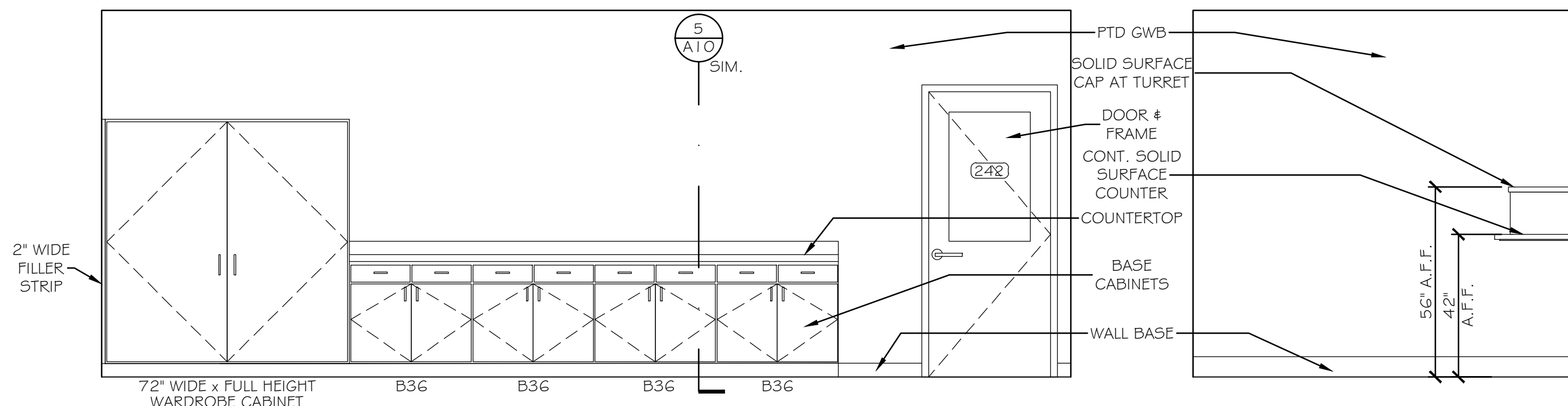


3 EZ PASS CUSTOMER LOBBY
SCALE: 3/8" = 1'-0"

4 EZ PASS CUSTOMER LOBBY
SCALE: 3/8" = 1'-0"

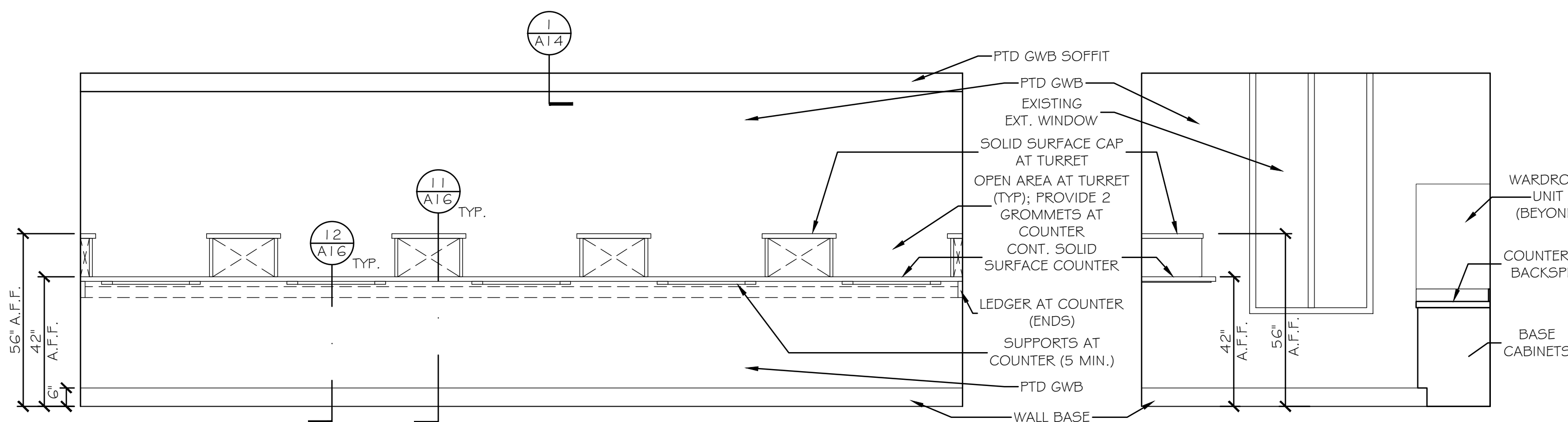


A EZ PASS PROPOSED CUSTOMER SERVICE AREA
SCALE: 1/4" = 1'-0"



5 EZ PASS CSR
SCALE: 3/8" = 1'-0"

6 EZ PASS CSR
SCALE: 3/8" = 1'-0"



7 EZ PASS CSR
SCALE: 3/8" = 1'-0"

8 EZ PASS CSR
SCALE: 3/8" = 1'-0"

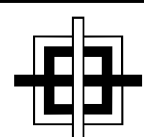
Scale: AS NOTED

Designed by:

Michael F. Hays, RA

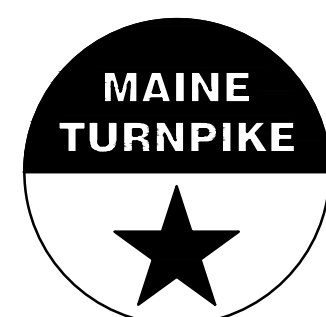
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date	By	Date
Designed	MFH	02/26/24	Checked	MFH
Drawn	MGK	02/26/24	In Charge of	



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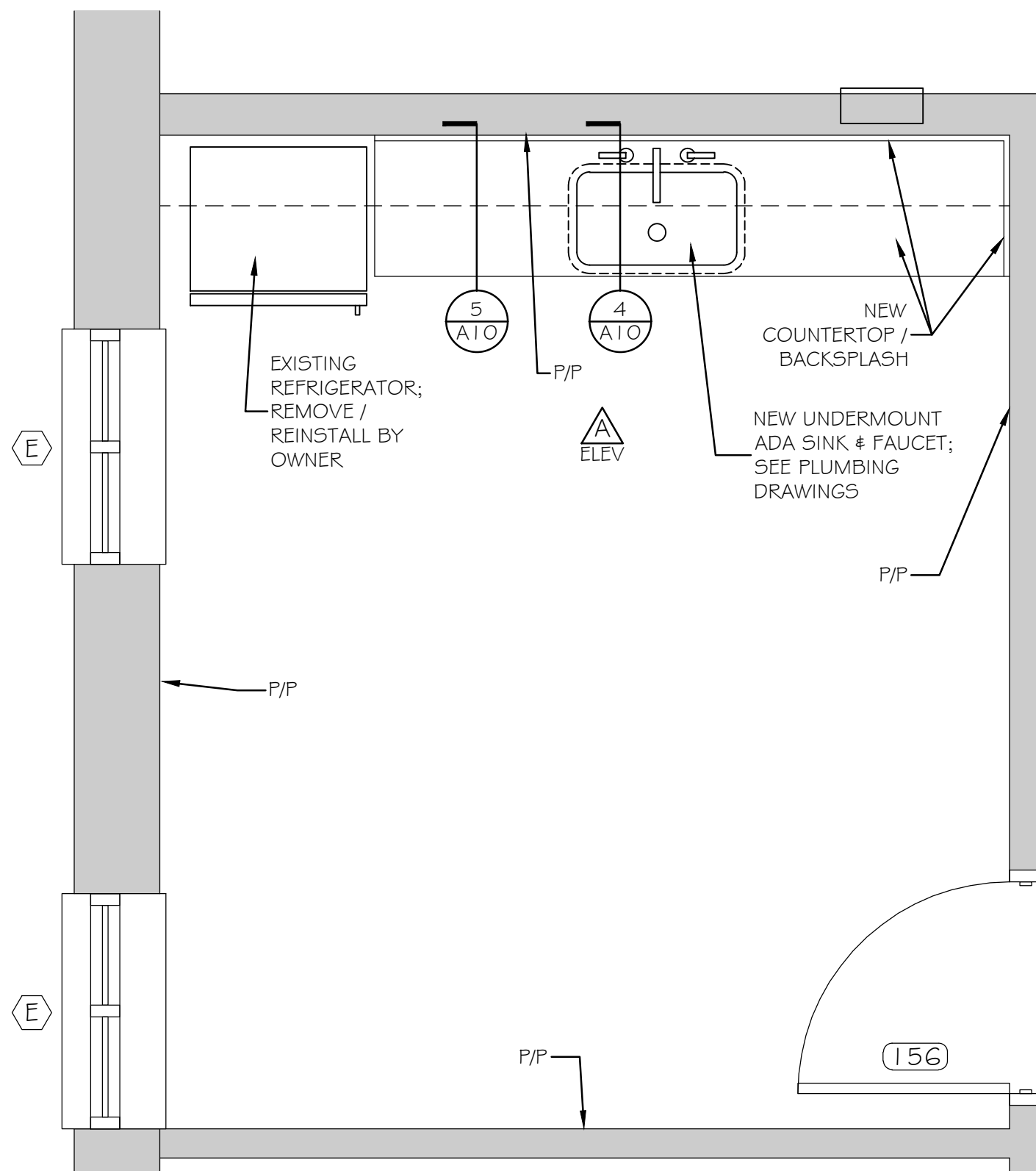
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
EZ PASS PLAN & ELEVATIONS

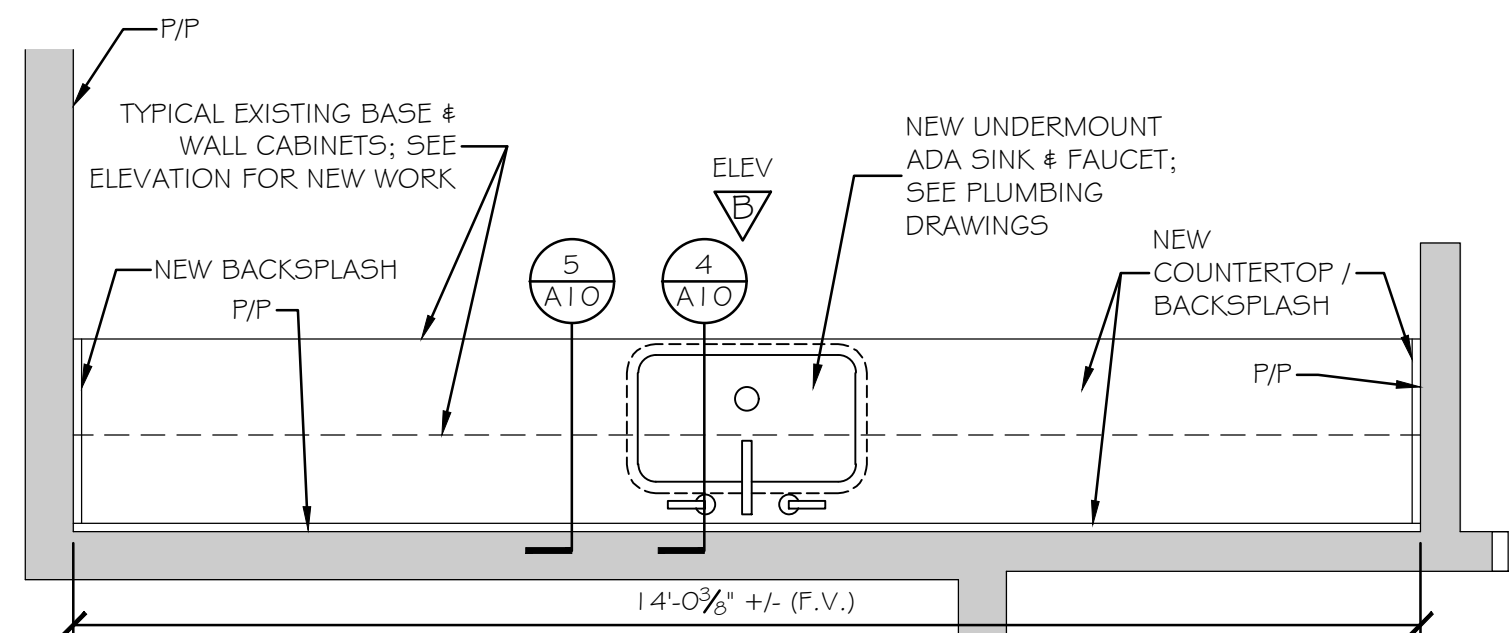
CONTRACT: 2023.10

SHEET NUMBER: A-9

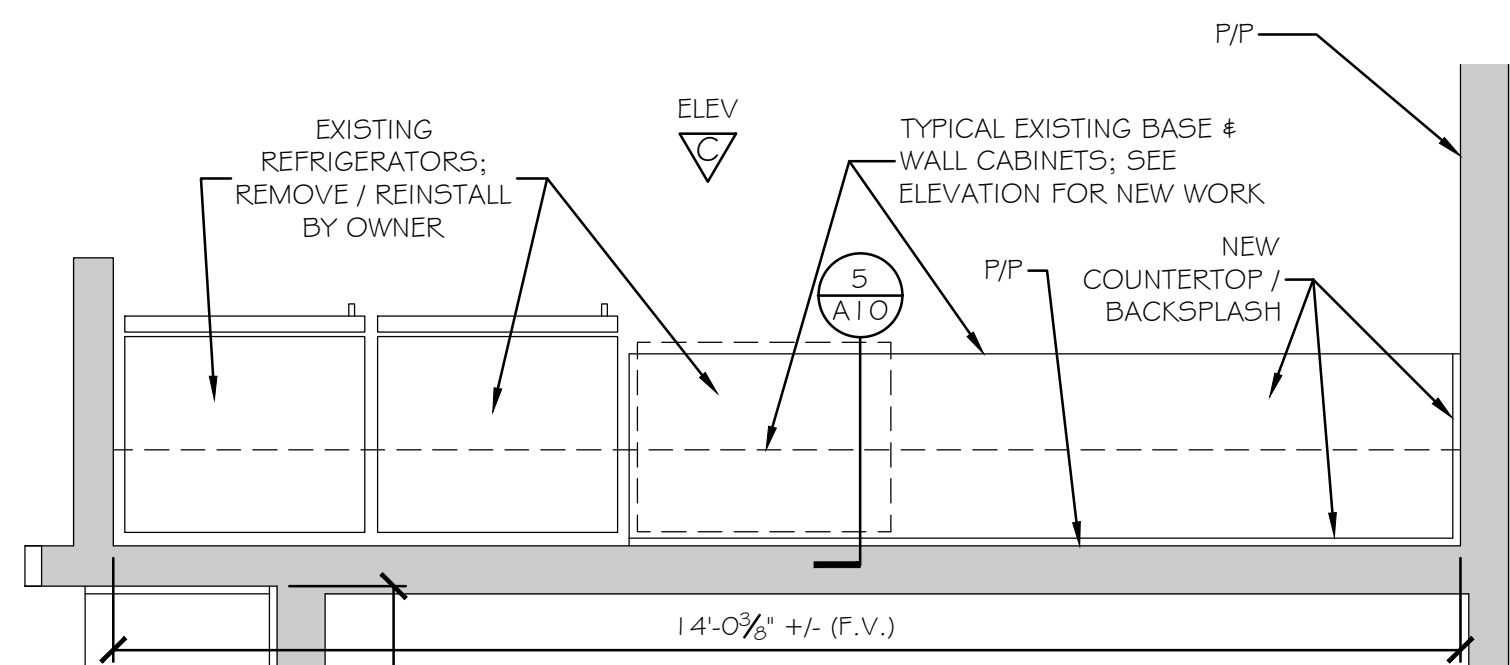
21 OF 70



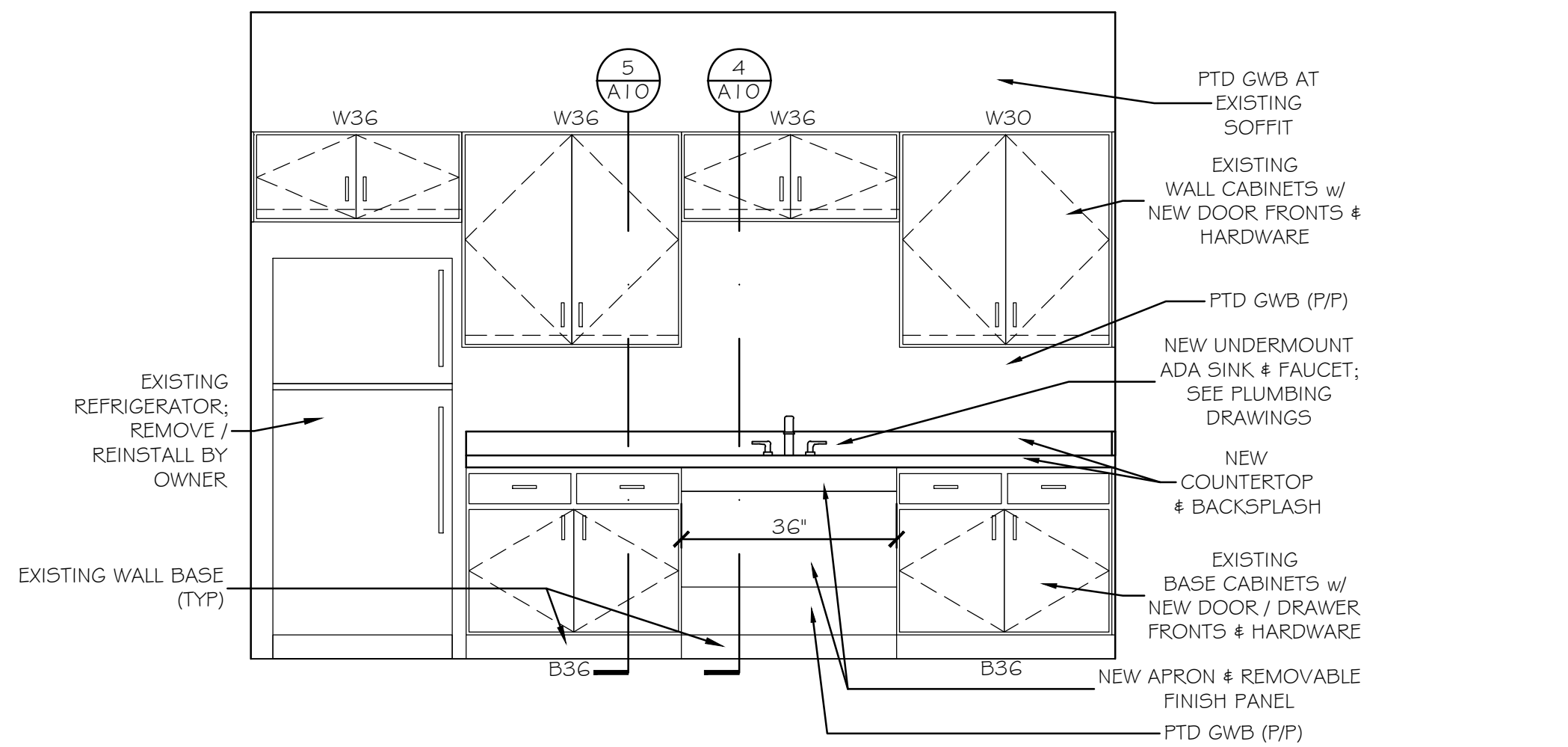
1 FIRST FLOOR BREAKROOM [138]
SCALE: 1/2" = 1'-0"



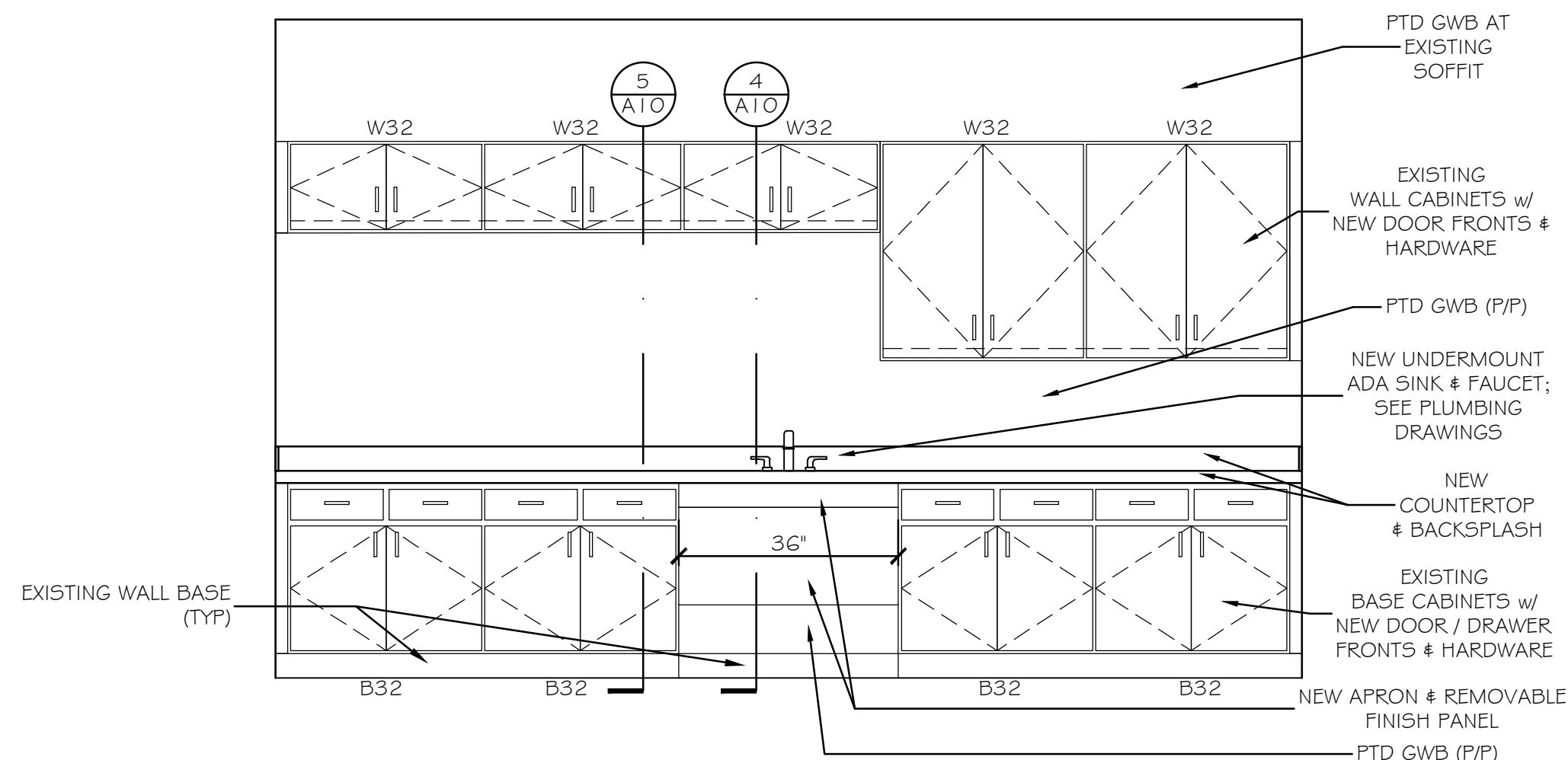
2 FIRST FLOOR BREAKROOM [154] RIGHT
SCALE: 1/2" = 1'-0"



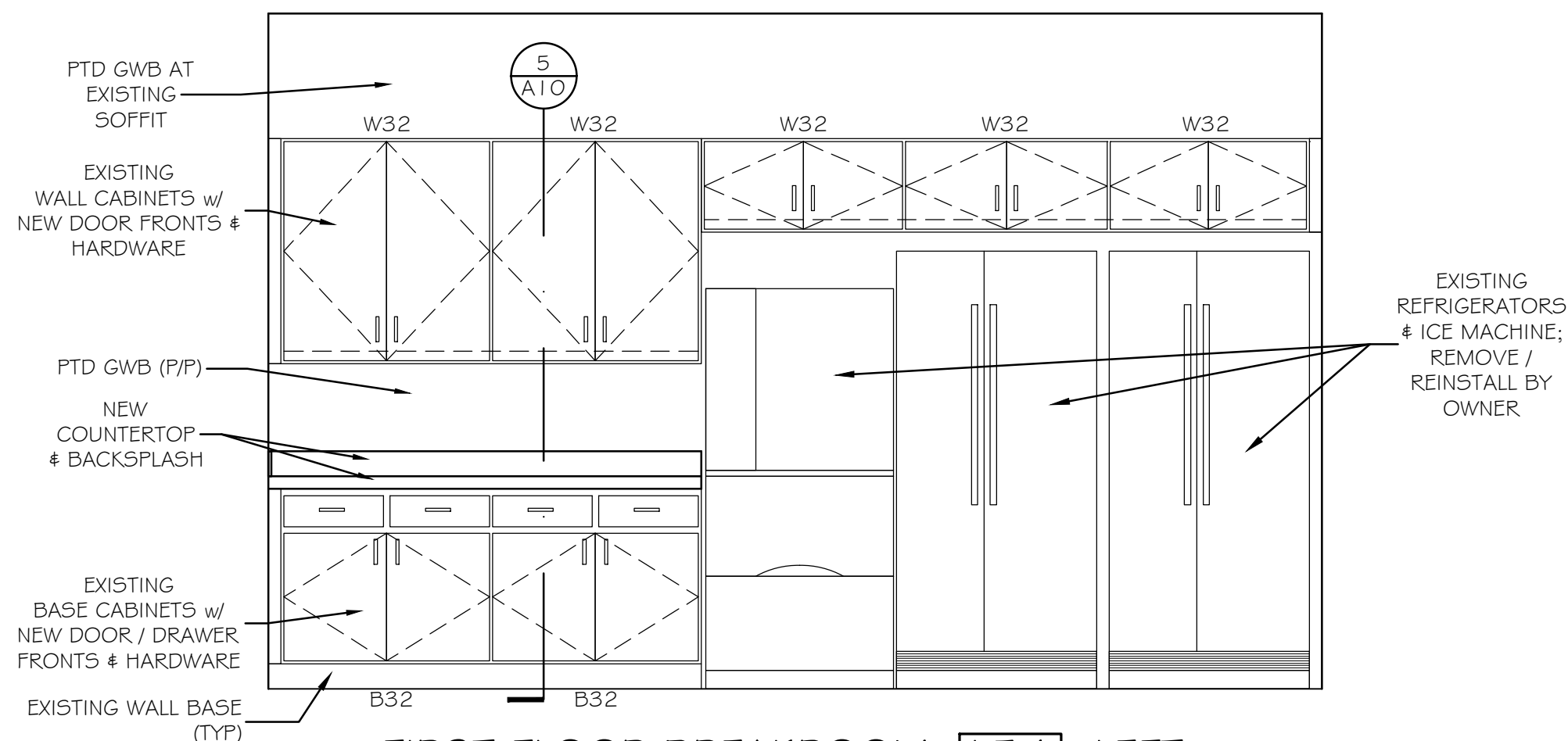
3 FIRST FLOOR BREAKROOM [154] LEFT
SCALE: 1/2" = 1'-0"



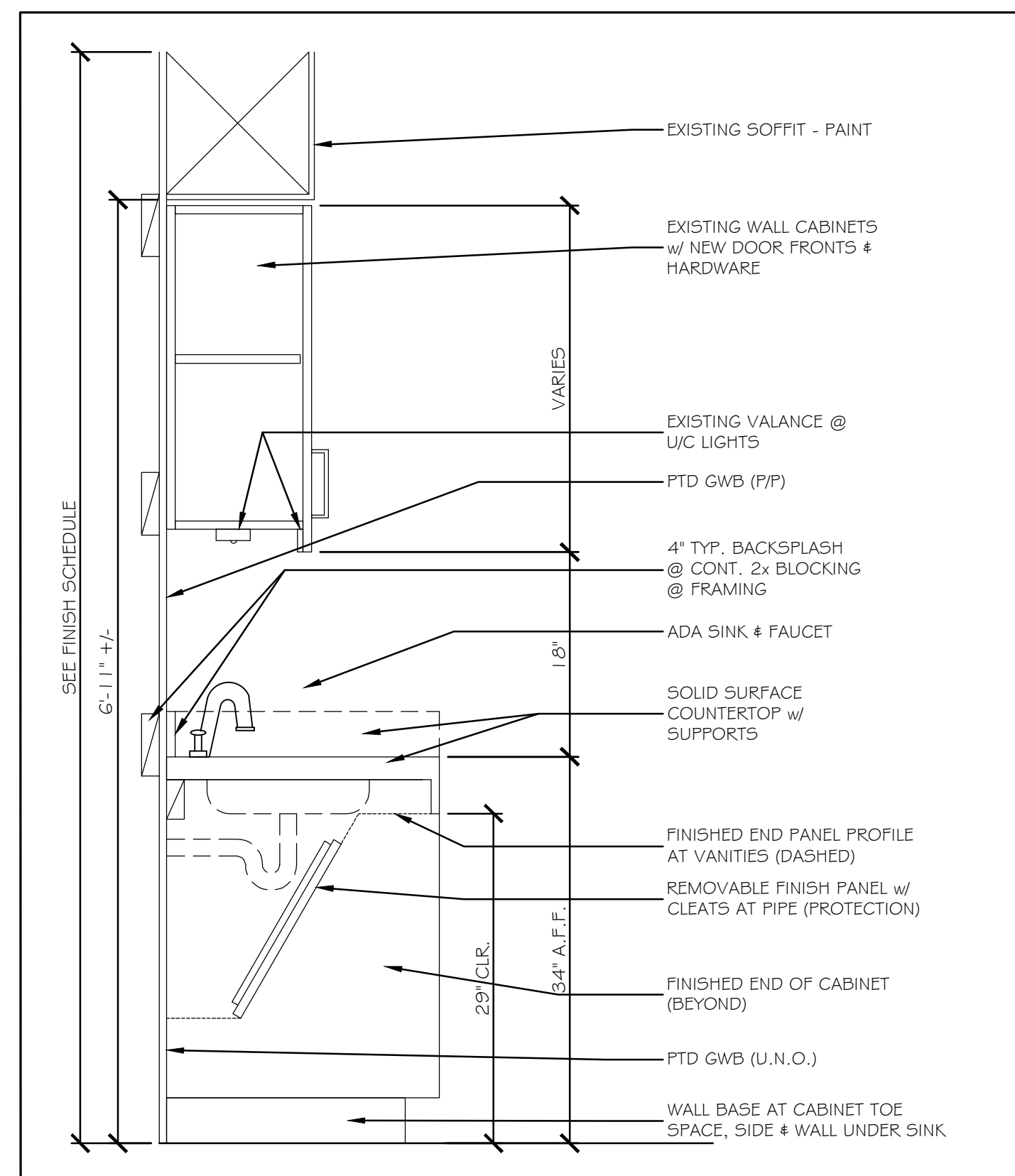
A FIRST FLOOR BREAKROOM [138]
SCALE: 1/2" = 1'-0"



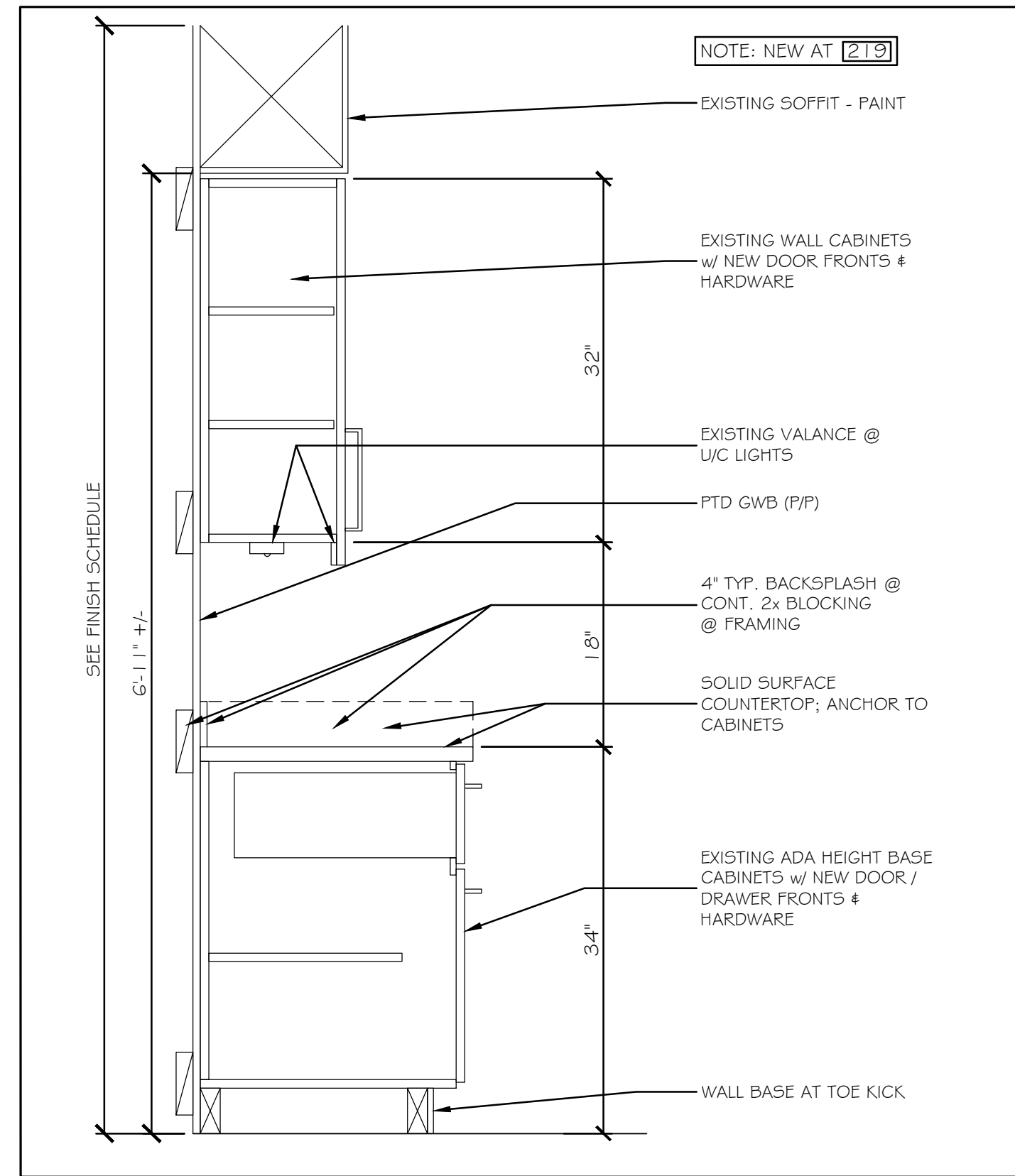
B FIRST FLOOR BREAKROOM [154] RIGHT
SCALE: 1/2" = 1'-0"



C FIRST FLOOR BREAKROOM [154] LEFT
SCALE: 1/2" = 1'-0"



4 TYPICAL ADA SINK 1" = 1'-0"



5 TYPICAL ADA CABINET 1" = 1'-0"

Scale: 1/2"=1'-0"

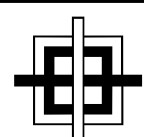
Designed by:

Michael F. Hays, RA



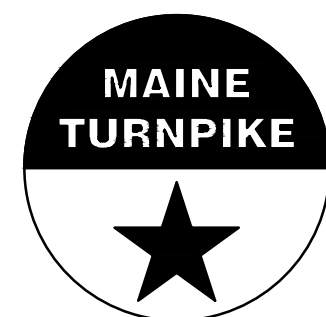
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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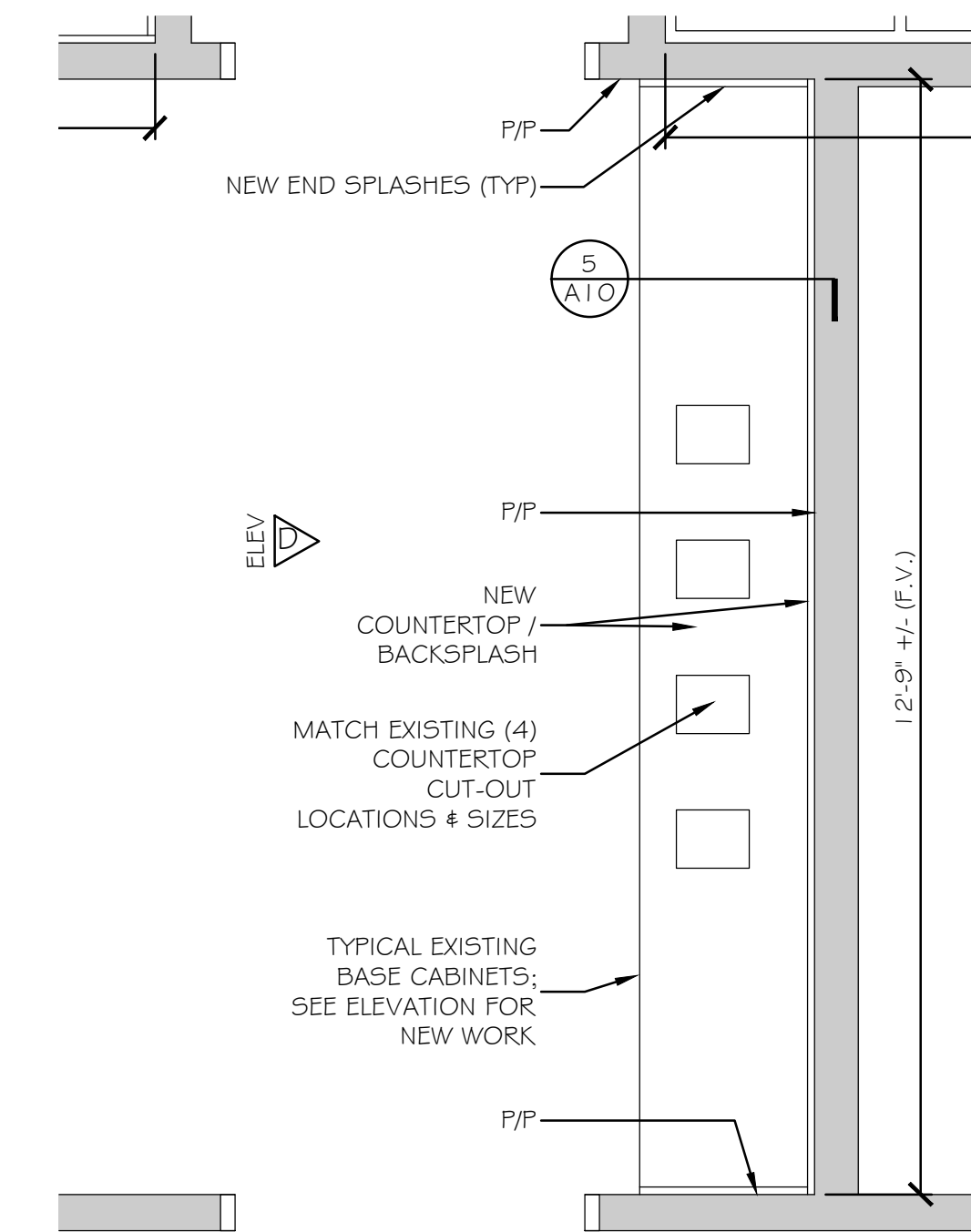
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
BREAKROOM CASEWORK

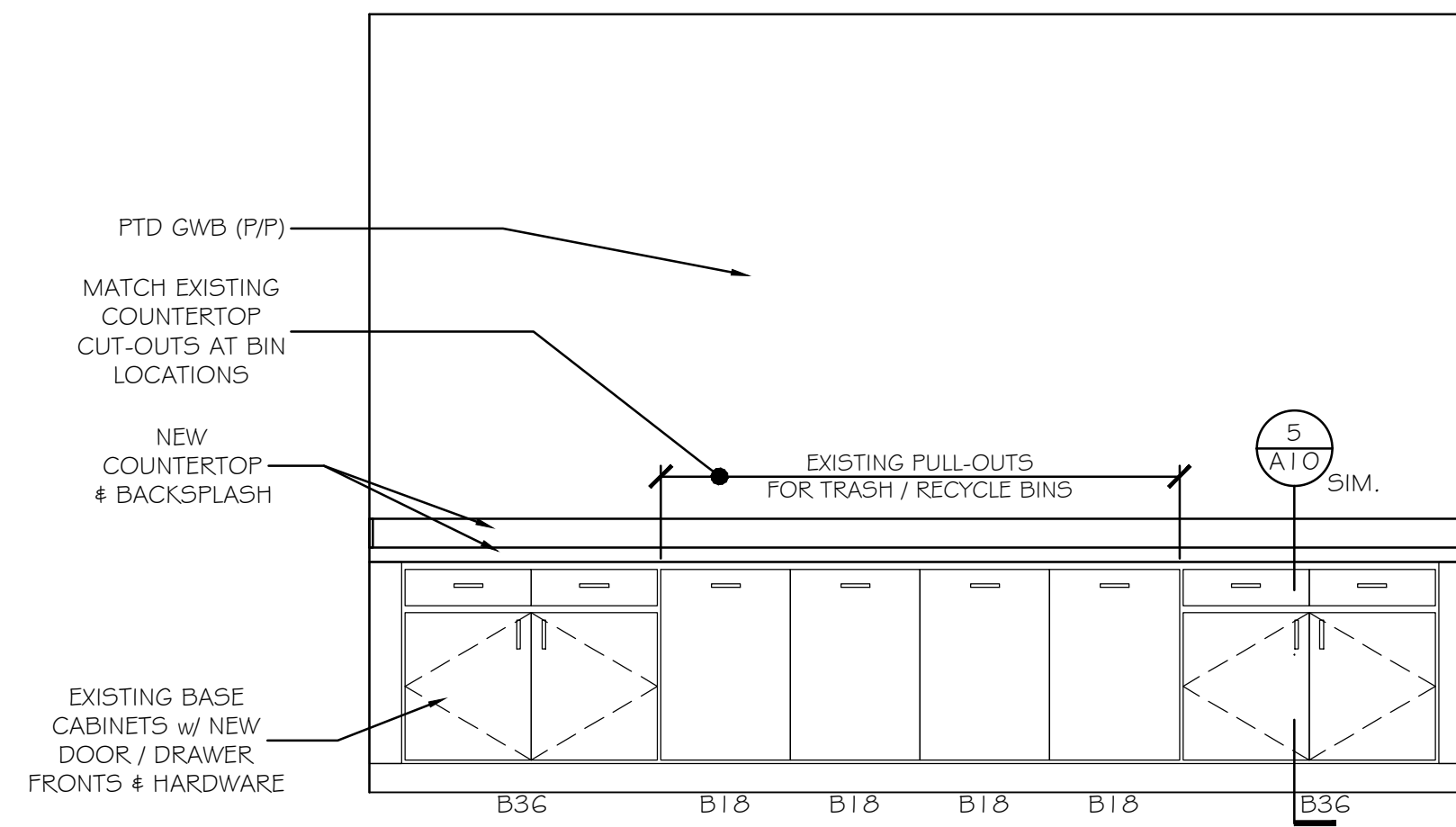
CONTRACT: 2023.10

SHEET NUMBER: A-10

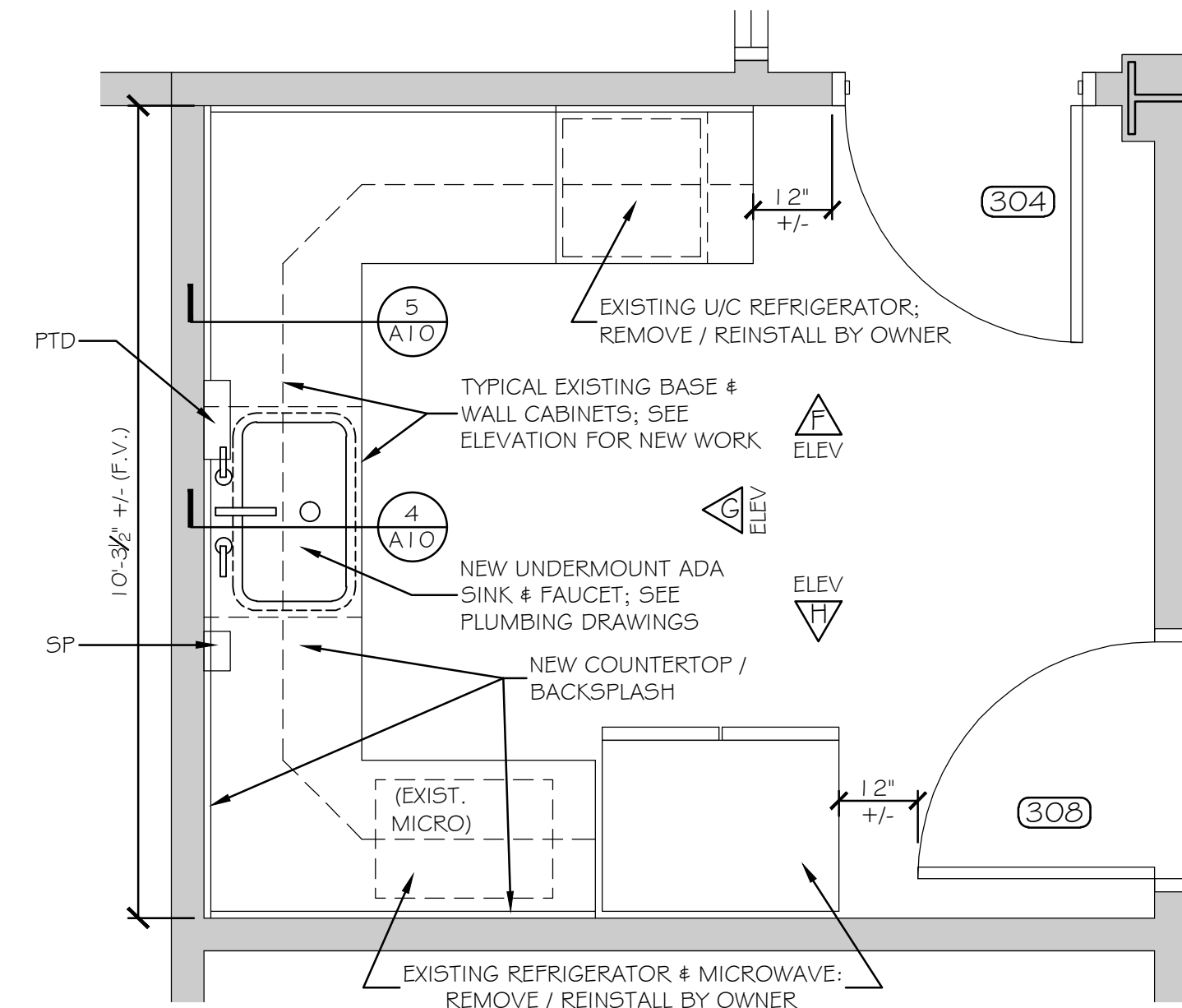
22 OF 70



① FIRST FLOOR VENDING [155]
SCALE: 1/2" = 1'-0"

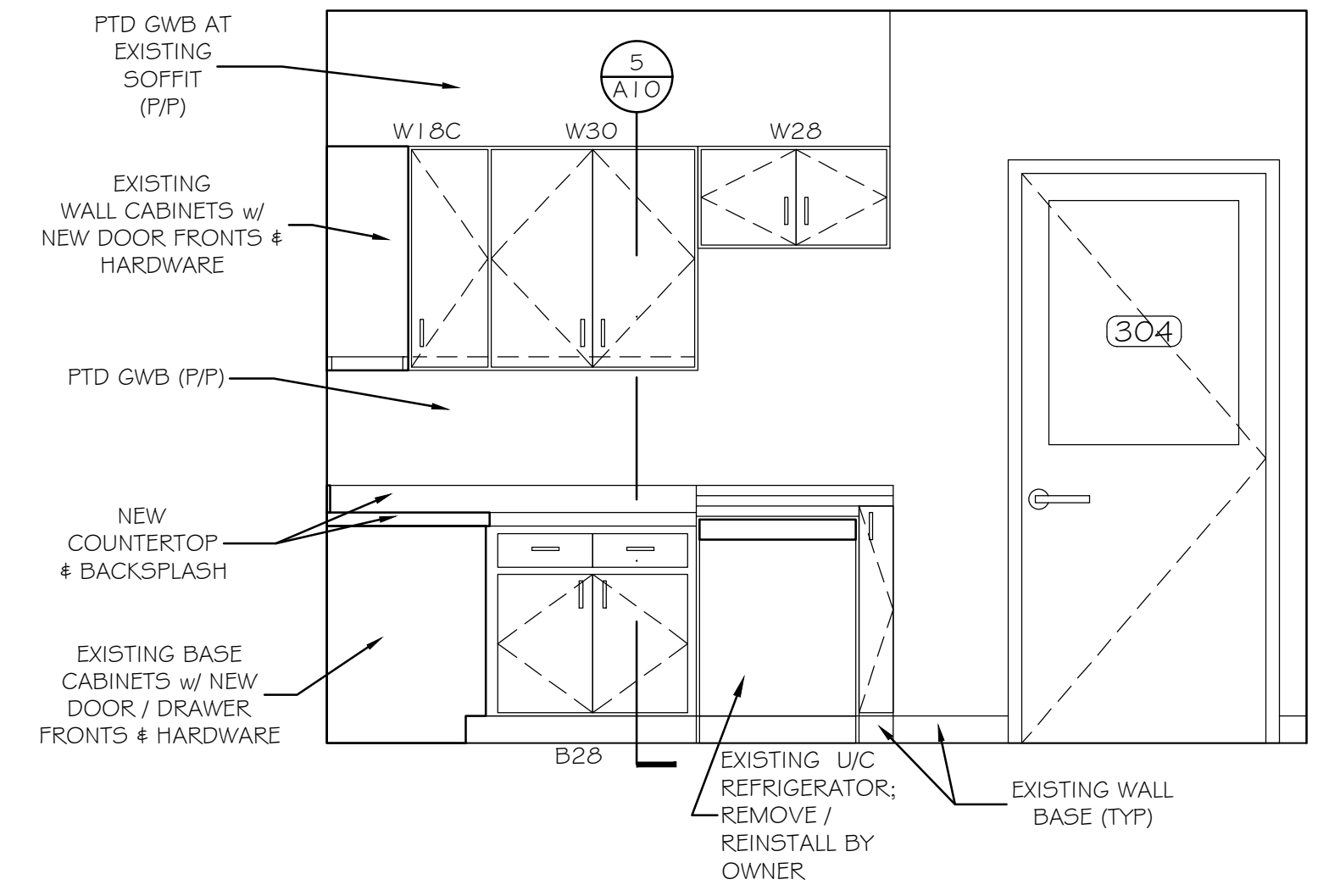


△ FIRST FLOOR VENDING [155]
SCALE: 1/2" = 1'-0"



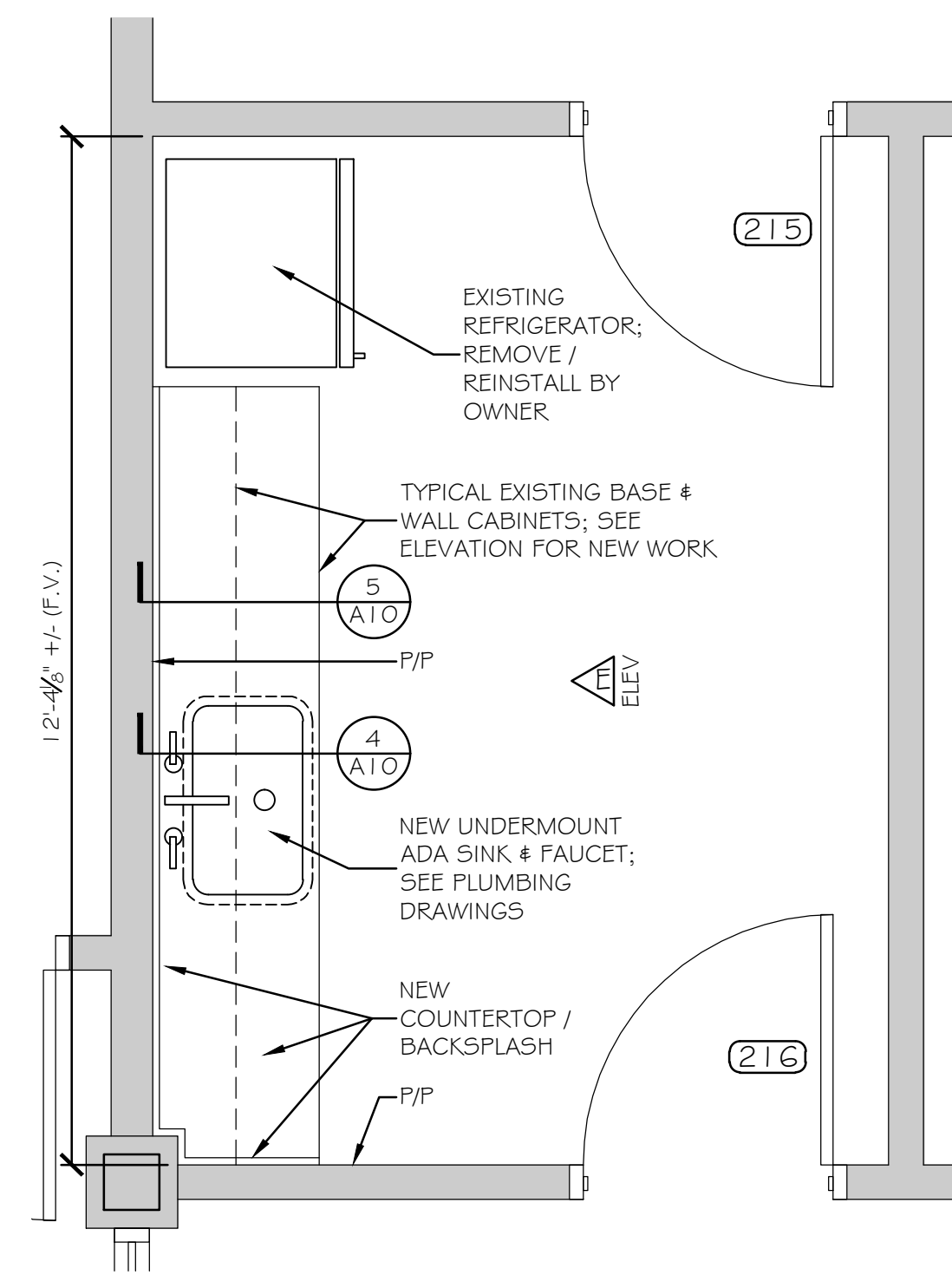
③ THIRD FLOOR KITCHEN [314]
SCALE: 1/2" = 1'-0"

NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS

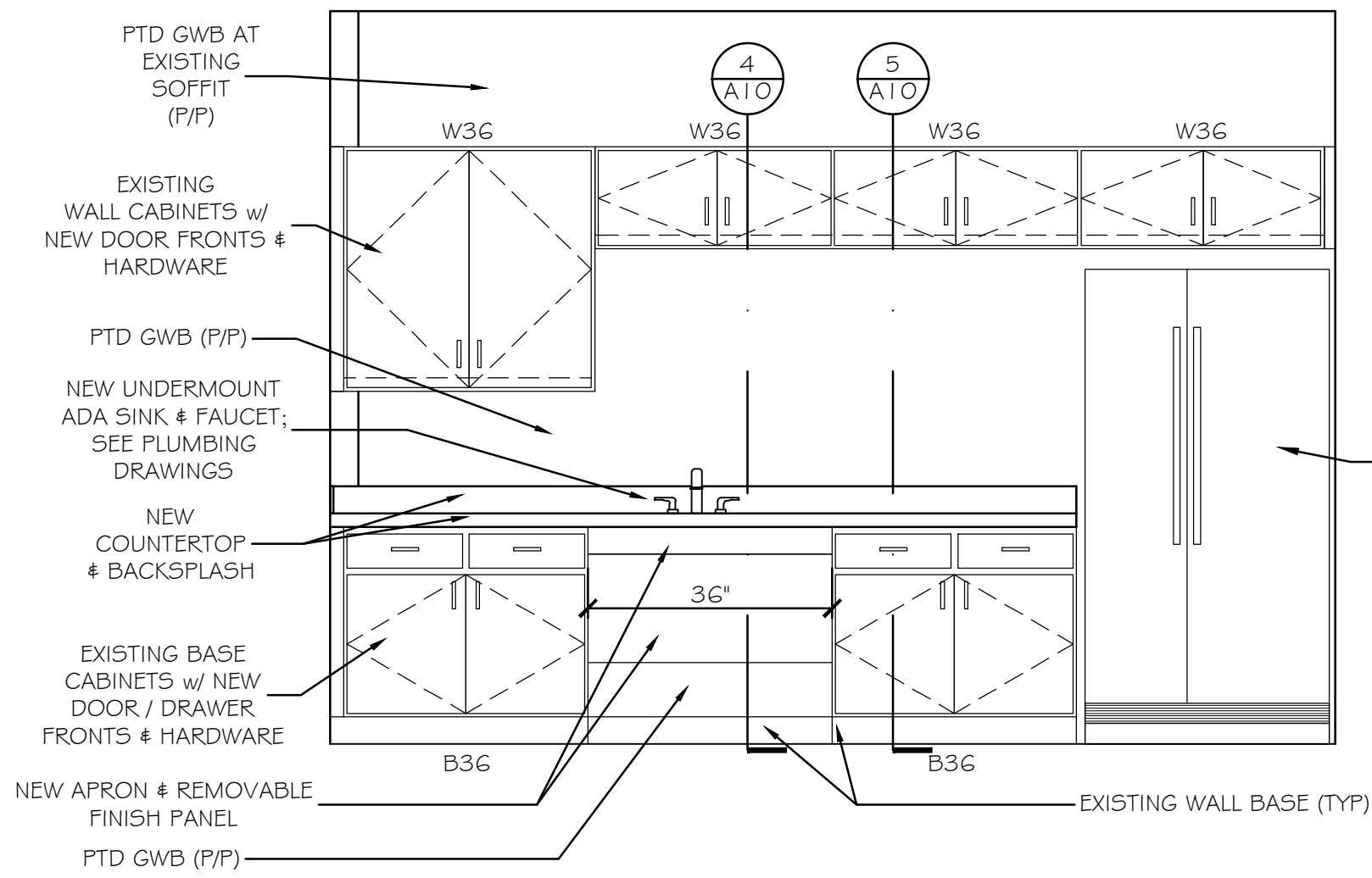


△ THIRD FLOOR KITCHEN [314]
SCALE: 1/2" = 1'-0"

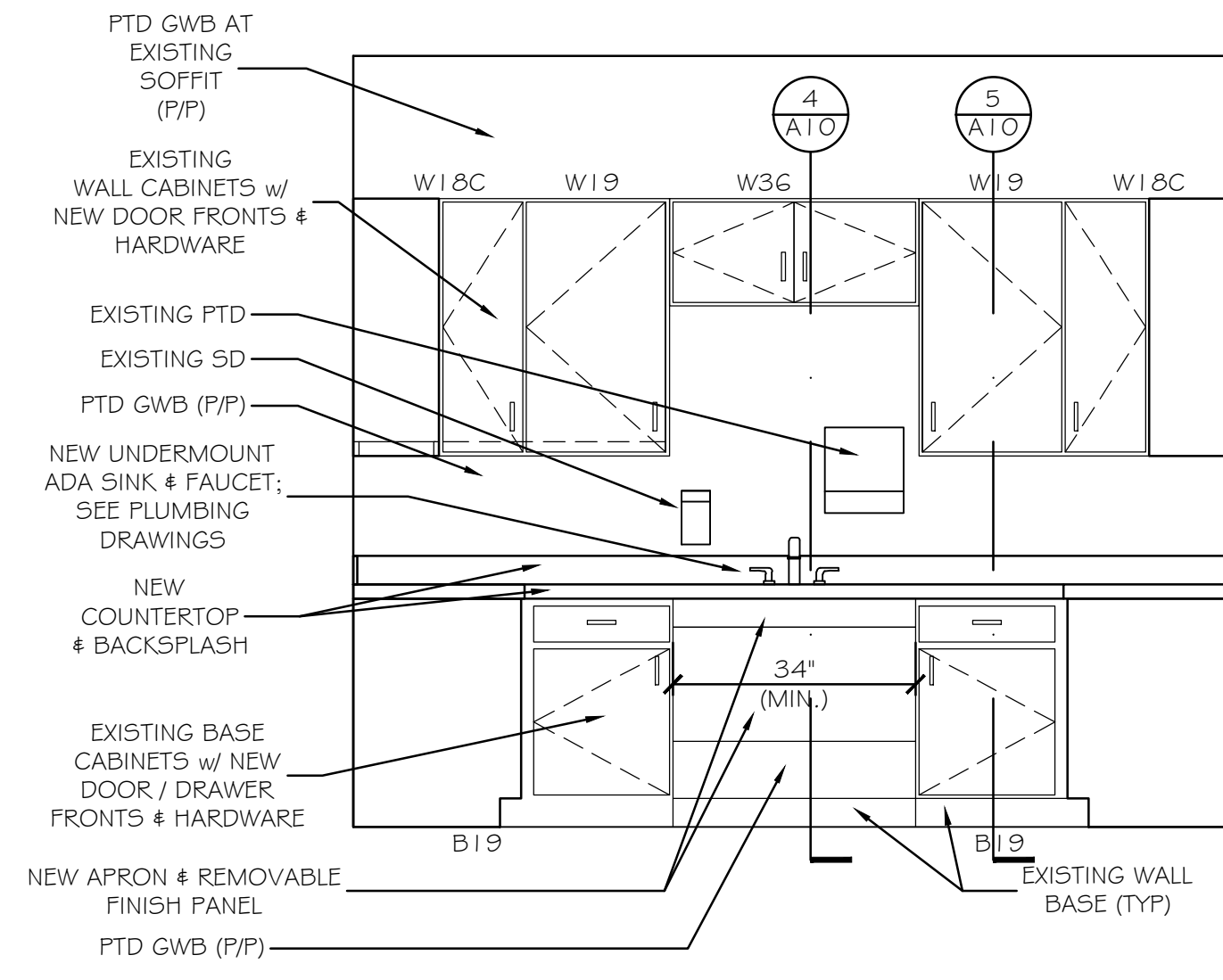
NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS



② SECOND FLOOR KITCHEN [235]
SCALE: 1/2" = 1'-0"

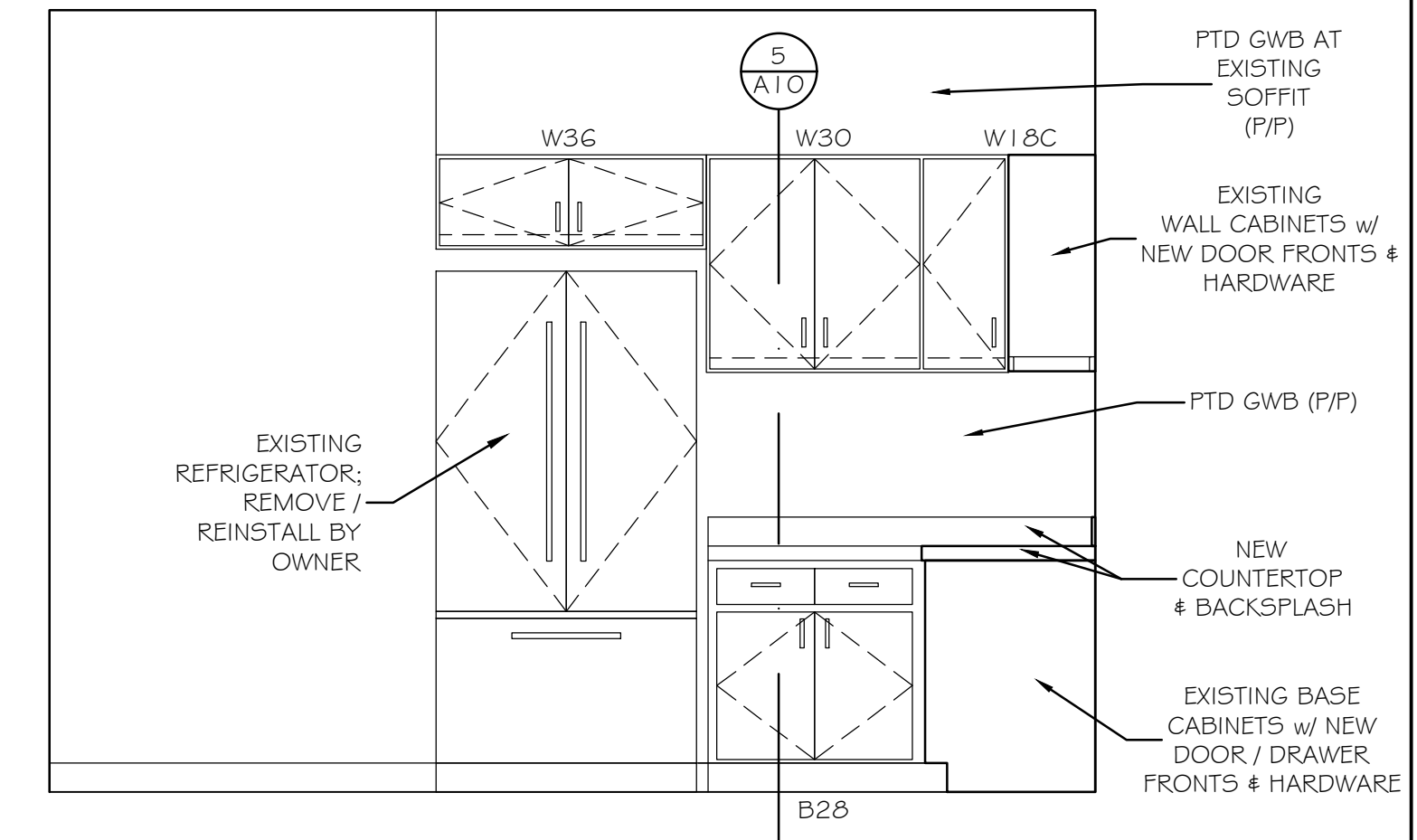


△ SECOND FLOOR KITCHEN [235]
SCALE: 1/2" = 1'-0"





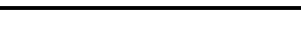
△ THIRD FLOOR KITCHEN [314]
SCALE: 1/2" = 1'-0"

NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS



△ THIRD FLOOR KITCHEN [314]
SCALE: 1/2" = 1'-0"

NOTE: SEE FINISH SCHEDULE FOR NEW PAINT AT ALL EXISTING WALLS

Scale: 1/2"=1'-0"				Designed by: <div> Michael F. Hays, RA</div>				<div> GRANT HAYS ASSOCIATES ARCHITECTURE & INTERIOR DESIGN P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900 www.granthays.com</div>				<div> THE GOLD STAR MEMORIAL HIGHWAY</div>				MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT VENDING & KITCHENS CASEWORK			
No.	Revision	By	Date	CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB												SHEET NUMBER: A-11			
					By	Date		By	Date	MTA PROJECT MANAGER: JACQUELINE HANSEN				CONTRACT: 2023.10 23 OF 70					
				Designed	MFH	02/26/24	Checked	MFH	02/26/24										
				Drawn	MGK	02/26/24	In Charge of												

FIRST FLOOR DOOR SCHEDULE										ABBREVIATIONS									
DOORS										ABBREVIATIONS									
NO.	TYPE	SIZE (w x h)	THK	INSUL	HDWE	FR	GLASS TYPE	SIZE	REMARKS	TYPE	FR	PROFILE	DETAILS HEAD	JAMB	MATERIAL	DETAILS SILL	FIN		
101	E								NOTE 1	E					E				
102	E				HW-4				NOTE 1	E					E				
103	E								NOTE 1	E					E				
104	E				HW-4				NOTE 1	E					E				
105	E				HW-5				NOTE 2	E					E				
106	E				HW-5				NOTE 1	E					E				
107	E									E					E				
108	E								NOTE 2	E					E				
109	E									E					E				
110	E									E					E				
111	E								NOTE 2	E					E				
112	E								NOTE 2	E					E				
113	E				HW-6				NOTE 3	E					E				
114	E								NOTE 2	E					E				
115	E								NOTE 2	E					E				
116	E								NOTE 2	E					E				
117	E								NOTE 2	E					E				
118	E								NOTE 2	E					E				
119	E								NOTE 2	E					E				
120	E								NOTE 2	E					E				
121	E								NOTE 2	E					E				
122	E								NOTE 2	E					E				
123	E								NOTE 2	E					E				
124	E				HW-6				NOTE 3	E					E				
125	E									E					E				
126	E									E					E				
127	E								NOTE 2 & 8	E					E				
128	E								NOTE 2	E					E				
129	E								NOTE 2	E					E				
130	E								NOTE 2	E					E				
131	E								NOTE 2	E					E				
132	E								NOTE 2	E					E				
133	E								NOTE 2	E					E				
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135	E								NOTE 2	E					E				
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145	E								NOTE 2	E					E				
146	E								NOTE 2	E					E				
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148	E								NOTE 2	E					E				
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161	E								NOTE 1	E					E				
162	E								NOTE 2	E					E				
163	E								NOTE 1	E					E				
164	E								NOTE 1	E					E				
165	E								NOTE 1	E					E				
166	E								NOTE 1	E					E				
167	E				HW-1				NOTE 4 & 5	E					E				
168	E				HW-1				NOTE 4 & 5	E					E				
169	E				HW-2				NOTE 4 & 5	E					E				
170	E				HW-2				NOTE 4 & 5	E					E				
171	E				HW-2				NOTE 4 & 5	E					E				
172	E				HW-2				NOTE 4 & 5	E					E				
173	E				HW-3				NOTE 1	E					E				

SECOND FLOOR DOOR SCHEDULE										ABBREVIATIONS							
										ALUM DW	ALUMINUM DRYWALL	HM INSUL	HOLLOW METAL INSULATED	T T-BREAK	TEMPERED		
										E5	EDGE STRIP	MAS	MASONRY	TH	THERMAL BREAK		
										EMHO	ELECTRO MAGNETIC HOLD OPENER	MFR	MANUFACTURER	TS	THERMAL INSULATED TRANSITION STRIP		
										GL	GLASS	OC	OVERHEAD DOOR	V	VINYL WOOD WITH		
												OHD	OVERHEAD DOOR	W	WOOD		
DOORS										FRAMES					THRESHOLDS		
NO.	TYPE	SIZE (w x h)	THK	INSUL	HDWE	FR	GLASS		REMARKS	TYPE	FR	PROFILE	DETAILS		MATERIAL	DETAILS	
							TYPE	SIZE					HEAD	JAMB		SILL	FIN
201	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
202	E	---	---	---	HW-7	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
203	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
204	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
205	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
206	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
207	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
208	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
209	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
210	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
211	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
212	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
213	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
214	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
215	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
216	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
217	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
218	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
219	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
220	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
221	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
222	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
223	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
224	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
225	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
226	B	6070 PR	1 3/4"	---	HW-8	---	T	FULL		A	---	DW	1-A13	2-A13	NONE	---	3-A13
227	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
228	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
229	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
230	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
231	E*	---	---	---	---	---	---	---	*SEE DETAIL 3 / A-1 G	E*	---	---	---	---	E	---	---
232	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
233	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
234	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
235	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
236	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
237	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
238	A	3070	1 3/4"	---	HW-9	---	T	FULL	NOTE 6	E	---	---	---	---	E	---	---
239	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
240	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
241	E	---	---	---	HW-3	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
242	E	---	---	---	HW-1	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
243	E	---	---	---	---	---	---	---	NOTE 5	E	---	---	---	---	E	---	---
244	E	---	---	---	---	---	---	---	NOTE 5	E	---	---	---	---	E	---	---
245	E	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
246	E	---	---	---	---	---	---	---	NOTE 5	E	---	---	---	---	E	---	---
247	E	---	---	---	---	---	---	---	NOTE 5	E	---	---	---	---	E	---	---
248	C	3070	1 3/4"	---	HW-10	---	---	---		B	---	DW	1-A13	2-A13	NONE	---	3-A13

THIRD FLOOR
DOOR SCHEDULE

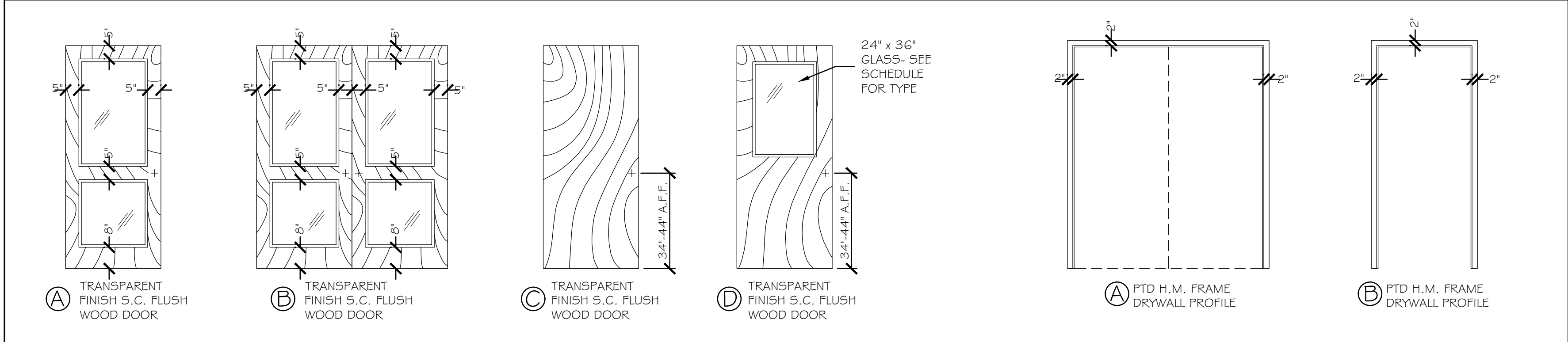
ABBREVIATIONS									
ALUM	ALUMINUM	HM	HOLLOW METAL	T	TEMPERED				
DW	DRYWALL	INSUL	INSULATED	T-BREAK	THERMAL BREAK				
ES	EDGE STRIP	MAS	MASONRY	TI	THERMAL INSULATED				
EMHO	ELECTRO MAGNETIC	MFR	MANUFACTURER	TS	TRANSITION STRIP				
GL	GLASS	OCD	OVERHEAD COILING DOOR	V	VINYL				
		OH	OVERHEAD DOOR	WD	WOOD				
				W/	WITH				

DOORS									REMARKS	FRAMES					THRESHOLDS			
NO	TYPE	SIZE (w x h)	THK	INSUL	HDWE	FR	CLASS			TYPE	FR	PROFILE	DETAILS		MATERIAL	DETAILS		
							TYPE	SIZE					HEAD	JAMB		SILL	FIN	
301	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
302	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
303	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
304	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
305	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
306	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
307	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
308	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
309	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
310	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
311	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
312	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
313	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
314	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
315	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
316	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
317	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
318	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
319	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
320	C	3070	1 3/4"	---	---	---	NONE	NONE	---	NOTE 6	E	---	---	---	---	E	---	---
321	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
322	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
323	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
324	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
325	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
326	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
327	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
328	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
329	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
330	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
331	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
332	E	---	---	---	---	---	---	---	---	NOTE 9	E	---	---	---	---	E	---	---
333	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
334	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
335	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
336	D	3070	1 3/4"	---	---	---	T	24x36	---	NOTE 6	E	---	---	---	---	E	---	---
337	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
338	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
339	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
340	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
341	E	---	---	---	---	---	---	---	---	NOTE 7	E	---	---	---	---	E	---	---
342	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
343	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
344	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
345	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
346	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
347	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
348	E	---	---	---	---	---	---	---	---	NOTE 2	E	---	---	---	---	E	---	---
349	D	3070	1 3/4"	---	---	---	T	24x36	---	NOTE 6	E	---	---	---	---	E	---	---
350	E	---	---	---	---	---	---	---	---	NOTE 5	E	---	---	---	---	E	---	---

DOOR SCHEDULE NOTES

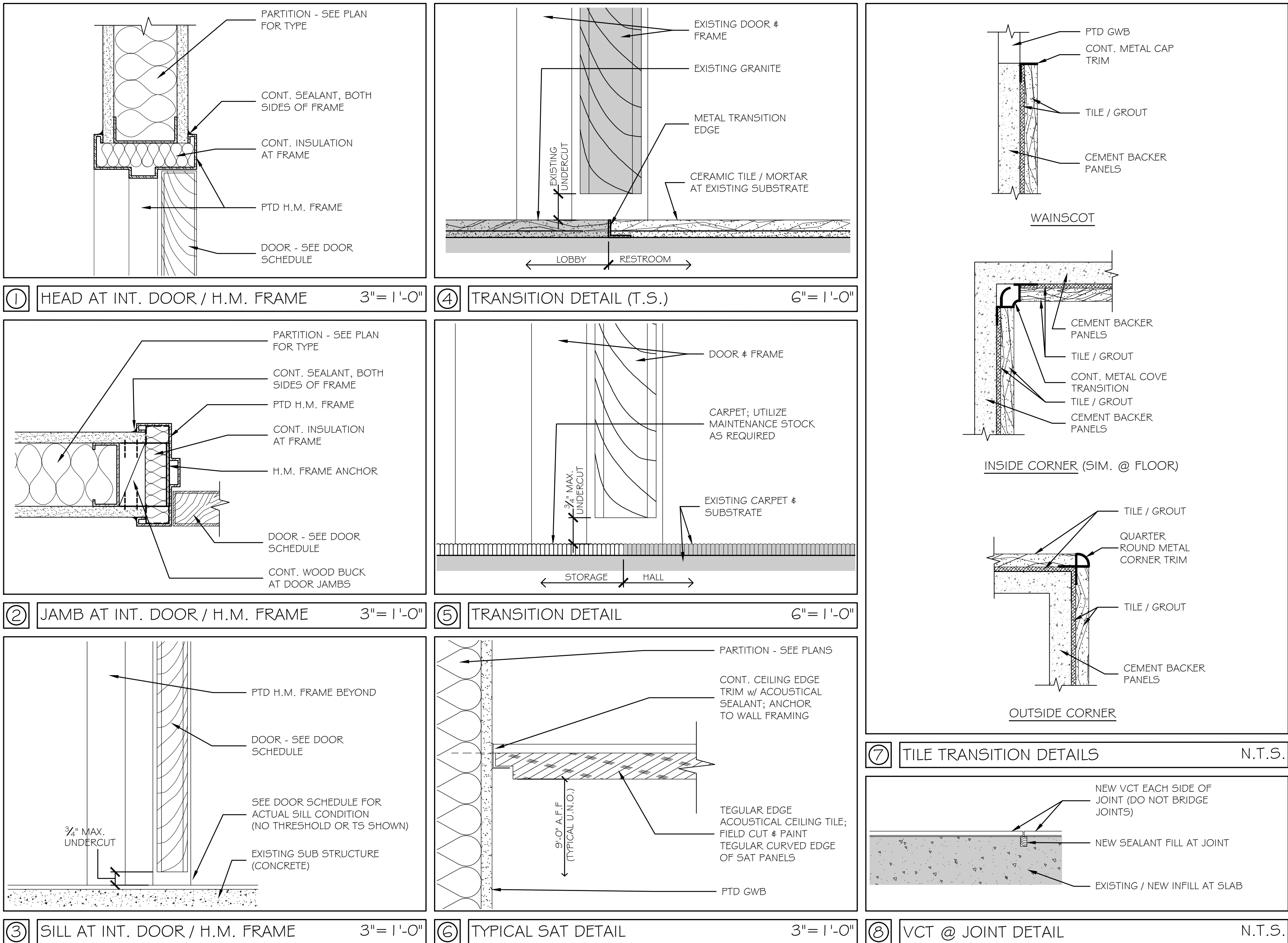
GENERAL: REFER TO SPECIFICATION SECTION 087100 - DOOR HARDWARE FOR HW-# WORK.

- H.M. DOOR & FRAME: PREP & PAINT EXISTING HOLLOW METAL DOOR & FRAME.
- H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT EXISTING H.M. FRAME.
- H.M. FRAME & METAL / S.C. WOOD DOOR: MODIFY EXISTING HOLLOW METAL FRAME FOR NEW OVERSIZED STRIKE PLATE TO MATCH THROW OF EXISTING LATCH. PREP & PAINT H.M. FRAME. PREP & PAINT H.M. DOOR. SEE PHOTO ①
- ALUMINUM DOOR & FRAME: PATCH & PAINT SHEETROCK RETURNS AT JAMBS; RE-ANCHOR / REPLACE WALL BASE AS REQUIRED. INSTALL NEW CORNER PROTECTION TO 48" A.F.F. SEE PHOTO ②
- ALUMINUM DOOR & FRAME: REMOVE MARKS AT DOOR & FRAME. SEE PHOTO ③
- H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT EXISTING HOLLOW METAL FRAME. INSTALL NEW S.C. WOOD DOOR. RE-INSTALL SALVAGED HW.
- H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT EXISTING HOLLOW METAL FRAME. RE-SEAL & FINISH COATS AT CUT EDGE OF S.C. WOOD DOOR, HINGE SIDE. SEE PHOTO ④
- H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT HOLLOW METAL FRAME. REMOVE STICKY RESIDUE & CLEAN ENTIRE S.C. WOOD DOOR.
- H.M. FRAME & S.C. WOOD DOOR: PREP & PAINT HOLLOW METAL FRAME. REMOVE MARKS AT SURFACE OF S.C. WOOD DOOR.



DOOR & FRAME TYPES

3/8" = 1'-0"



Scale: AS NOTED

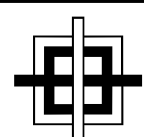
Designed by:

Michael F. Hays, RA



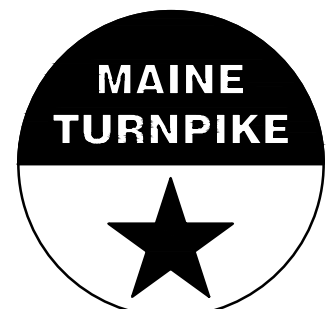
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date	By	Date
Designed	MFH	02/26/24	Checked	MFH
Drawn	MGK	02/26/24	In Charge of	



GRANT HAYS
ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105
207.871.5900 www.granthays.com



THE GOLD STAR
MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
DOORS

CONTRACT: 2023.10

SHEET NUMBER: A-13

25 OF 70

FIRST FLOOR FINISH SCHEDULE															ABBREVIATIONS														
															C CH CMU CT DFF EP	CARPET CONCRETE w/ HARDENER CERAMIC TILE DRY FALL PAINT EXISTING EPOXY PAINT	FCS FRP PV GL GWB IMP LVT	FLOOR COATINGS SYSTEM FIBERGLASS-REINFORCED PANELS GLASS GYPSUM WALL BOARD INSULATED METAL PANEL LAMINATED VINYL TILE	MP P RB RF SAT SS	METAL PANEL PAINT RUBBER BASE RESILIENT FLOORING SUSPENDED ACOUSTICAL TILE STAINLESS STEEL	TS TUP VB VCT WC WD	TRANSITION STRIP TOUGH EP VINYL BASE VINYL COMPOSITION TILE WALL COVERING WOOD							
RM NO.	NAME	WALLS				FLOORS				CEILING A		CEILING B		REMARKS															
		N	E	S	W	MAT'L	BASE	MAT'L	BASE	TYPE	HT.	TYPE	HT.																
101	I.T.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
102	MEN'S TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
102a	SHOWER	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
103	WOMEN'S TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
103a	SHOWER	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
104	STAIR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
105	STAIR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
106	T/D	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
107	ELEC.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
108	JAN.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
109	SUPPLIES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
110	I.T.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
111	CORR.	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	---															
112	COMPUTER REPAIR LAB	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	---															
113	COMPUTER STORAGE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
114	SERVER ROOM	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
115	BOTTLE	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
116	FARE COLLECTION STOR.	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
117	SEC. EVID. STORAGE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
118	INTERVIEW	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
119	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
120	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
121	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
122	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
123	CONFERENCE TRAINING	---	---	---	---	C*	VB*	---	---	---	---	---	---	*SEE PLANS															
124	STORAGE	---	---	---	---	C*	VB*	---	---	---	---	---	---	*SEE PLANS															
125	JANITOR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
126	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
127	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
128	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
129	WAITING	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
130	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
131	TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
132	RECEPT.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
133	TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
134	WORK ROOM	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
135	WOMEN'S SHOWER	---	---	---	---	CT*	CT*	---	---	---	---	---	---	*SEE PLANS / NOTE 2															
136	MEN'S SHOWER	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
137	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
138	BREAKROOM	---	---	P	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
139	LOCKERS	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
140	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
141	COMP.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
142	TROOPERS	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
143	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
144	SUPPLY	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
145	SALLYPORT	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
146	ARMORY	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
147	INTERVIEW	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
148	INTOX.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
149	TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
150	VEST.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
151	CORR.	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
152	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
153	OPEN OFFICE	---	---	---	---	C*	VB*	---	---	---	---	---	---	*SEE PLANS / NOTE 1															
154	BREAKROOM	---	P	---	---	---	---	---	---	---	---	---	---	*SEE PLANS															
155	VENDING	P	---	---	---	---	---	---	---	---	---	---	---	*SEE PLANS															
156	CORR.	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
157	NOT USED	---	---	---	---	---	---	---	---	---	---	---	---	---															
158	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
159	CONFERENCE	---	P	---	---	C*	VB*	---	---	---	---	---	---	*SEE PLANS/NOTES 1 & 4															
160	ELEV. MACH.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
161	OPEN OFFICE	---	P	---	---	C*	VB*	---	---	---	---	---	---	*SEE PLANS / NOTE 1															
162	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
163	CUSTODIAL STORAGE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
164	CORR.	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
165	VEST.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
166	OFFICE SUPPLIES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
167	BUILDING SERVICES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
168	SHIP / RECEIVE	---	---	---	---	---	VB*	---	---	---	---	---	---	*SEE PLANS															
169	MECH.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
170	CORR.	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															
171	TEL / DATA	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
172	ELEC.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
173	FILE STORAGE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3															
174	PLAN STORAGE	---	---	---	---	VCT*	VB*	---	---	---	---	---	---	*SEE PLANS															

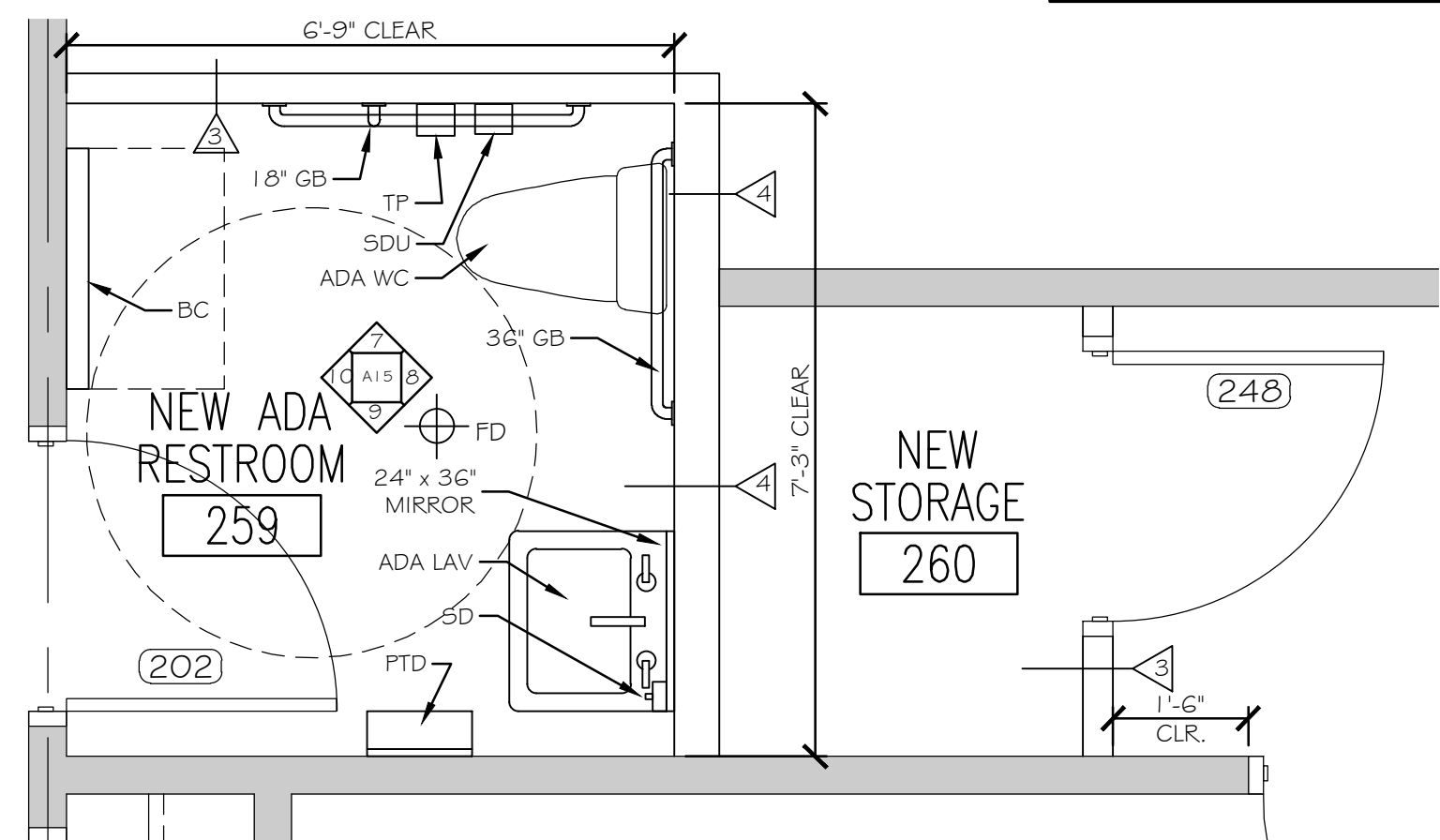
THIRD FLOOR FINISH SCHEDULE															
ABBREVIATIONS															
C	CARPET	CH	CONCRETE w/ HARDENER	CMU	CONCRETE MASONRY UNIT	CT	CERAMIC TILE	CT	DRY FILL PAINT	EP	EXISTING EPOXY PAINT	FCS	FLOOR COATINGS SYSTEM	FRP	FIBERGLASS REINFORCED PANELS
GL	GLASS	GL	GLASS	GL	GLASS	GL	GLASS	GL	GLASS	GL	GLASS	IMP	INSULATED METAL PANEL	MP	METAL PANEL
LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE	LVT	LAMINATED VINYL TILE
RB	RUBBER BASE	RB	RUBBER BASE	RB	RUBBER BASE	RB	RUBBER BASE	RB	RUBBER BASE	RB	RUBBER BASE	RB	RUBBER BASE	RB	RUBBER BASE
RF	RESILIENT FLOORING	RF	RESILIENT FLOORING	RF	RESILIENT FLOORING	RF	RESILIENT FLOORING	RF	RESILIENT FLOORING	RF	RESILIENT FLOORING	RF	RESILIENT FLOORING	RF	RESILIENT FLOORING
SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE	SAT	SUSPENDED ACOUSTICAL TILE
SS	STAINLESS STEEL	SS	STAINLESS STEEL	SS	STAINLESS STEEL	SS	STAINLESS STEEL	SS	STAINLESS STEEL	SS	STAINLESS STEEL	SS	STAINLESS STEEL	SS	STAINLESS STEEL
TS	TOUCH UP PAINT	TS	TOUCH UP PAINT	TS	TOUCH UP PAINT	TS	TOUCH UP PAINT	TS	TOUCH UP PAINT	TS	TOUCH UP PAINT	TS	TOUCH UP PAINT	TS	TOUCH UP PAINT
TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT	TUP	TOUCH UP PAINT
VB	VINYL BASE	VB	VINYL BASE	VB	VINYL BASE	VB	VINYL BASE	VB	VINYL BASE	VB	VINYL BASE	VB	VINYL BASE	VB	VINYL BASE
VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE	VCT	VINYL COMPOSITION TILE
WC	WALL COVERING	WC	WALL COVERING	WC	WALL COVERING	WC	WALL COVERING	WC	WALL COVERING	WC	WALL COVERING	WC	WALL COVERING	WC	WALL COVERING
WD	WOOD	WD	WOOD	WD	WOOD	WD	WOOD	WD	WOOD	WD	WOOD	WD	WOOD	WD	WOOD
RM NO.	NAME	WALLS				FLOORS				CEILING A		CEILING B		REMARKS	
		N	E	S	W	MAT'L	BASE	MAT'L	BASE	TYPE	HT.	TYPE	HT.		
301	HALL	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
301a	ALCOVE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
302	MEN'S TOILET	---	CT*	---	---	---	---	---	---	---	---	---	---	*SEE NOTES 2, 3 & 5	
303	WOMEN'S TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
304	STAIR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
305	STAIR	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
306	T/D	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
307	ELEC.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
308	JAN.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
309	SUPPLIES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
310	AUTHORITY ROOM	---	---	---	---	C	WD*	---	---	---	---	---	---	*SEE PLANS / NOTE 6	
311	CLOSET	E	E	E	E	C	E	E	E	E	E	E	E	SEE NOTE #3	
312	CLOSET	E	E	E	E	C	E	E	E	E	E	E	E	SEE NOTE #3	
313	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
314	KITCHEN	P	P	P	P	---	---	---	---	---	---	---	---	*SEE NOTE #5	
315	STORAGE	E	E	E	E	C	E	E	E	E	E	E	E	SEE NOTE #3	
316	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
317	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
318	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
319	WAIT	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
320	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
321	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
322	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
323	VAULT	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
324	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
325	COPY	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
326	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
327	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
328	TEST	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
329	CONFERENCE D	P*	---	---	---	---	---	---	---	---	---	---	---	*SEE NOTES 3 & 4	
330	WAITING	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
331	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
332	FILES	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
333	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
334	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
335	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
336	CORR.	---	P*	---	---	---	VB*	---	---	---	---	---	---	*SEE PLANS	
337	FILE STORAGE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
338	CONFERENCE C	E	E	P*	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
339	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
340	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
341	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
342	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
343	LAYOUT	P*	E	P*	P*	E	E	E	E	E	E	E	E	SEE NOTE #3	
344	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
345	EXEC. CONFERENCE B	---	---	---	P*	*	---	---	---	---	---	---	---	*SEE NOTES #3 & 4	
346	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
347	TOILET	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
348	STOR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
349	OPEN OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
350	NOT USED	---	---	---	---	---	---	---	---	---	---	---	---	---	
351	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
352	CORR.	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
353	OFFICE	E	E	E	E	E	E	E	E	E	E	E	E	SEE NOTE #3	
354	CORR.	P*	---	---	---	---	VB*	---	---	---	---	---	---	*SEE PLANS	



OWNER MATERIALS - MAINTENANCE STOCK			
TAG	ITEM NAME	COLOR	PHOTO #
C*	"DAZZLE" CARPET TILE	GREEN	①
CT*	MOSAIC CERAMIC WALL TILE	MULTI	②
GT*	GRANITE FLOOR TILE	NATURAL	③
VCT*	ARMSTRONG IMPERIAL TEXTURE	---	④
VB*	JOHNSTONE 4" VINYL COVE BASE	WETLANDS	⑤
---	FORBO SPECIALTY TILE	---	⑥

DEMOLITION NOTES LEGEND

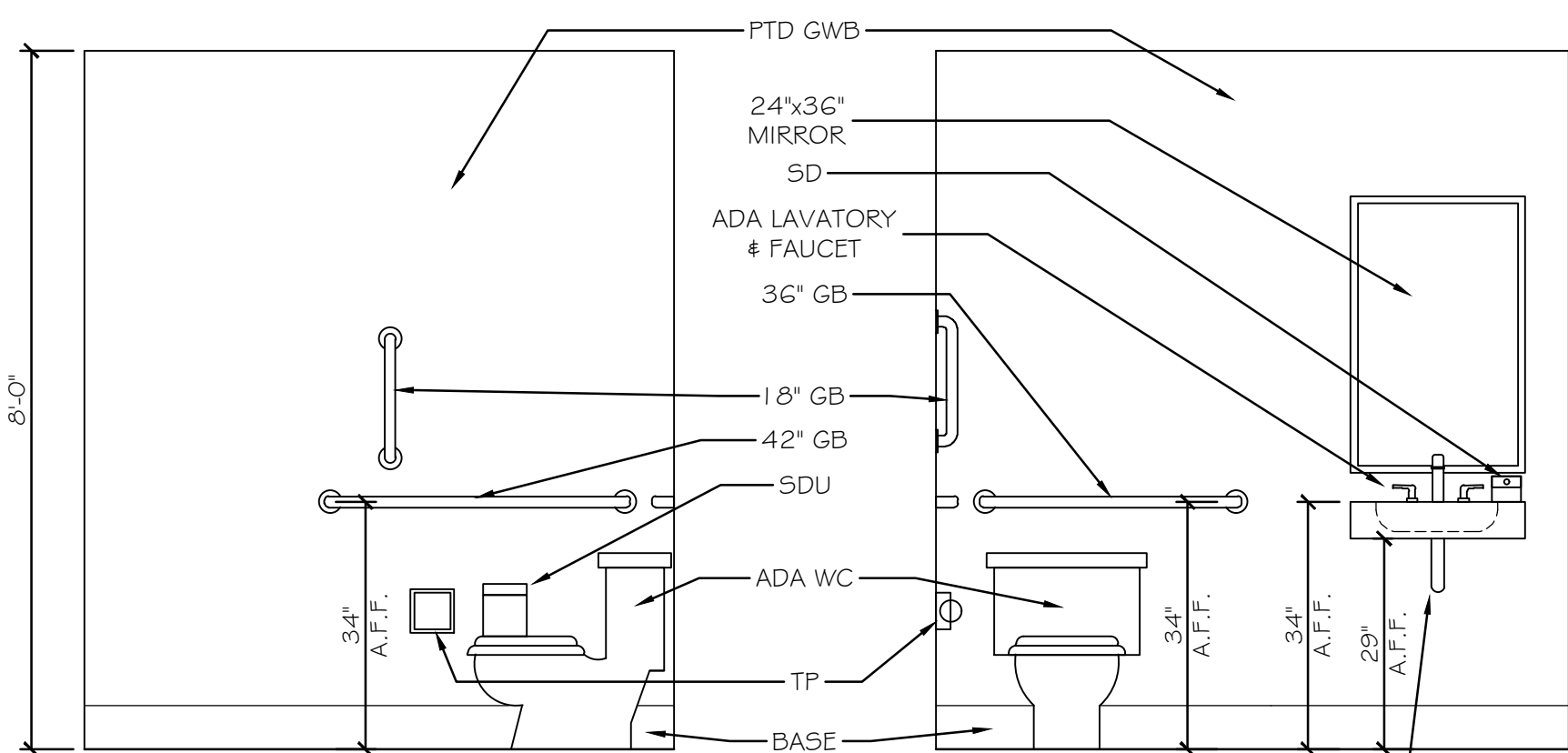
- REINSTALL SALVAGE CARPET TILE IF IN ACCEPTABLE CONDITION. OTHERWISE, INSTALL NEW CARPET TILE OBTAINED FROM OWNER'S MAINTENANCE STOCK.
- REINSTALL SALVAGE CERAMIC TILE IF IN ACCEPTABLE CONDITION. UTILIZE OWNERS MAINTENANCE STOCK AS NEEDED. MATCH EXISTING GROUT COLOR.
- PATCH / PAINT / REINSTALL (OR REPLACE) WALL & CEILING FINISHES TO MATCH ADJACENT FINISH ONCE MECHANICAL / PLUMBING / ELECTRICAL WORK IS COMPLETED.
- COORDINATE PATCHING / PAINTING COMPLETION SCHEDULE w/ INSTALLATION OF A/V EQUIPMENT BY OWNER'S CONTRACTOR.
- CLEAN ALL TILE SURFACES AFTER COMPLETION OF PLUMBING WORK.
- PROTECT EXISTING HARDWOOD WALL BASE DURING CARPET REPLACEMENT WORK. REPLACE / REPAIR DAMAGED BASE TO MATCH EXISTING, INCLUDING REFINISHING WALL BASE AT ENTIRE ROOM.
- INSTALL NEW OAK WALL BASE AT ENTIRE WEST WALL. MATCH EXISTING SIZE, FINISH & PROFILE.
- INSTALL MATCHING GRANITE TILE; UTILIZE OWNER'S MAINTENANCE STOCK.
- INSTALL NEW CARPET TILE FROM OWNER MAINTENANCE STOCK AT REMOVED PARTITION. PATCH EXISTING CEILING GRID & SAT WITH NEW COMPONENTS TO MATCH EXISTING.



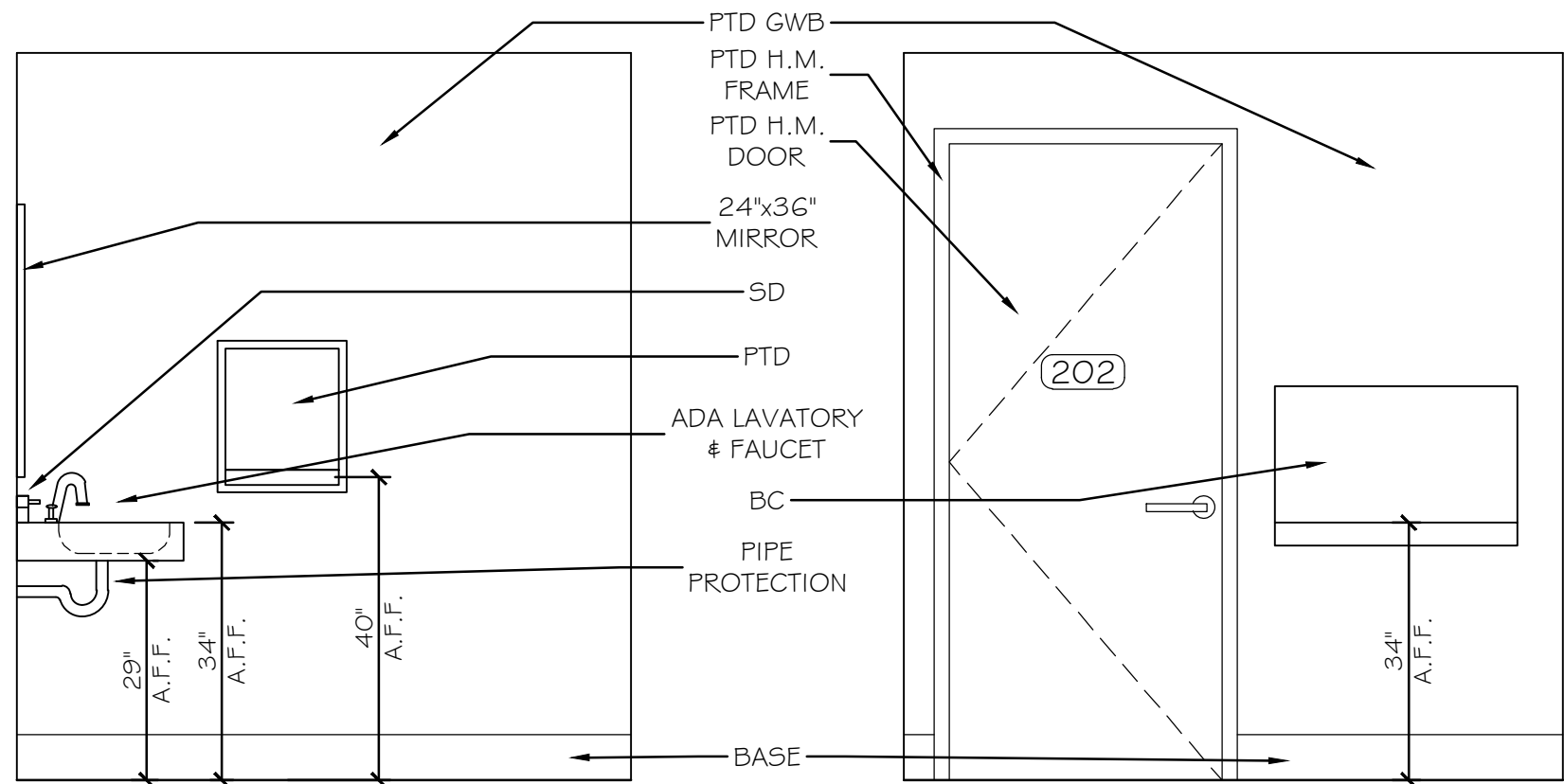
PARTITION LEGEND	
TAG	DETAIL
①	⑤ A1/G
②	⑥ A1/G
③	⑦ A1/G
④	⑧ A1/G

A NEW ADA RESTROOM [259]/ NEW STORAGE [260]
SCALE: 1/2" = 1'-0"

NOTE: SEE ⑦ A1/3 FOR TILE TRANSITION DETAILS



7 NEW ADA RESTROOM [259]
SCALE: 1/2" = 1'-0"



9 NEW ADA RESTROOM [259]
SCALE: 1/2" = 1'-0"

10 NEW ADA RESTROOM [259]
SCALE: 1/2" = 1'-0"

Scale: AS NOTED

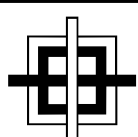
Designed by:

Michael F. Hays, RA



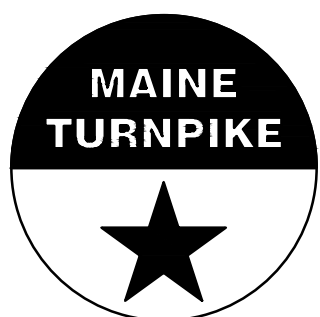
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



GRANT HAYS
ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04105
207.871.5900 www.granthays.com



THE GOLD STAR
MEMORIAL HIGHWAY

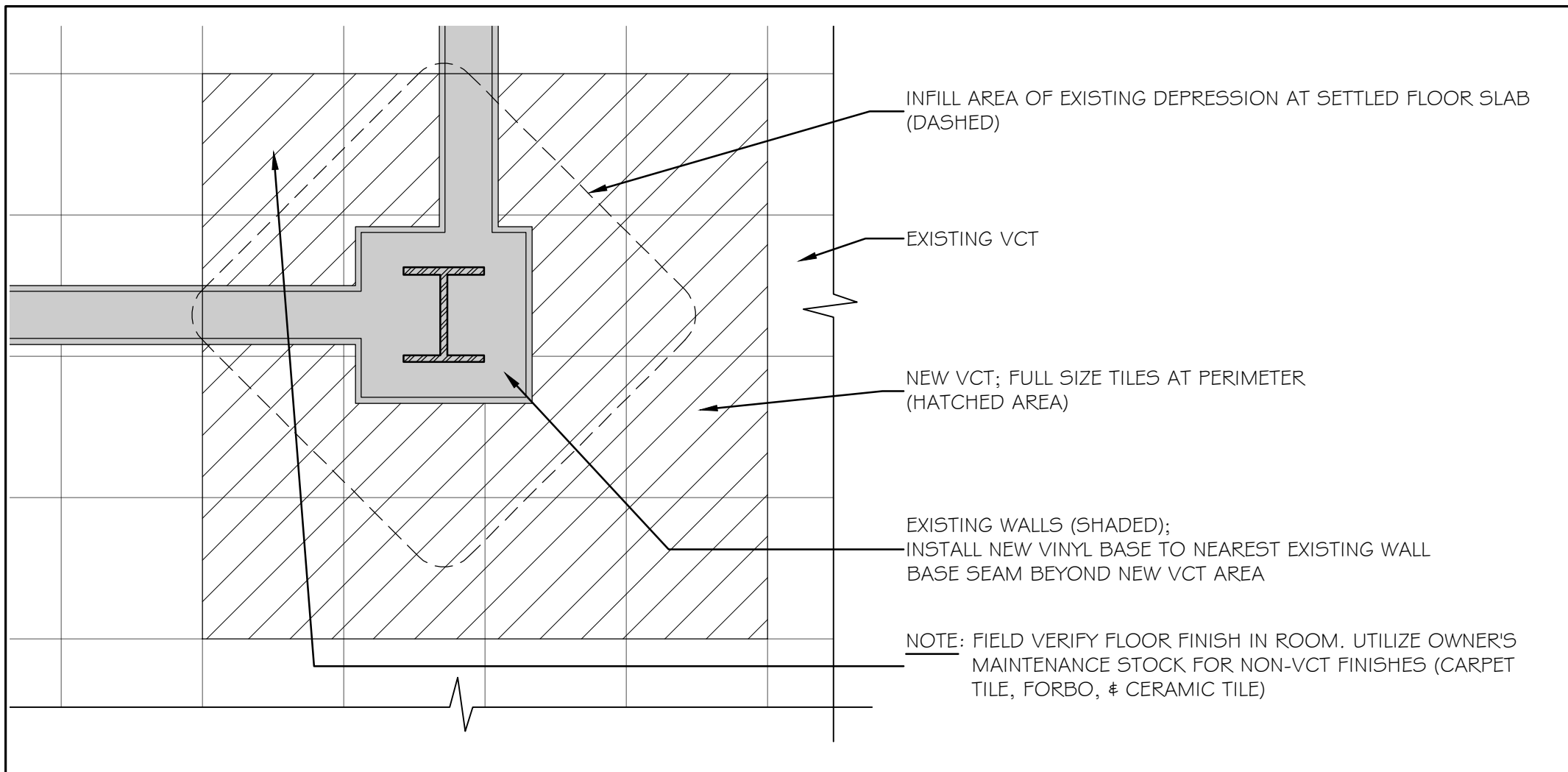
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
FINISHES

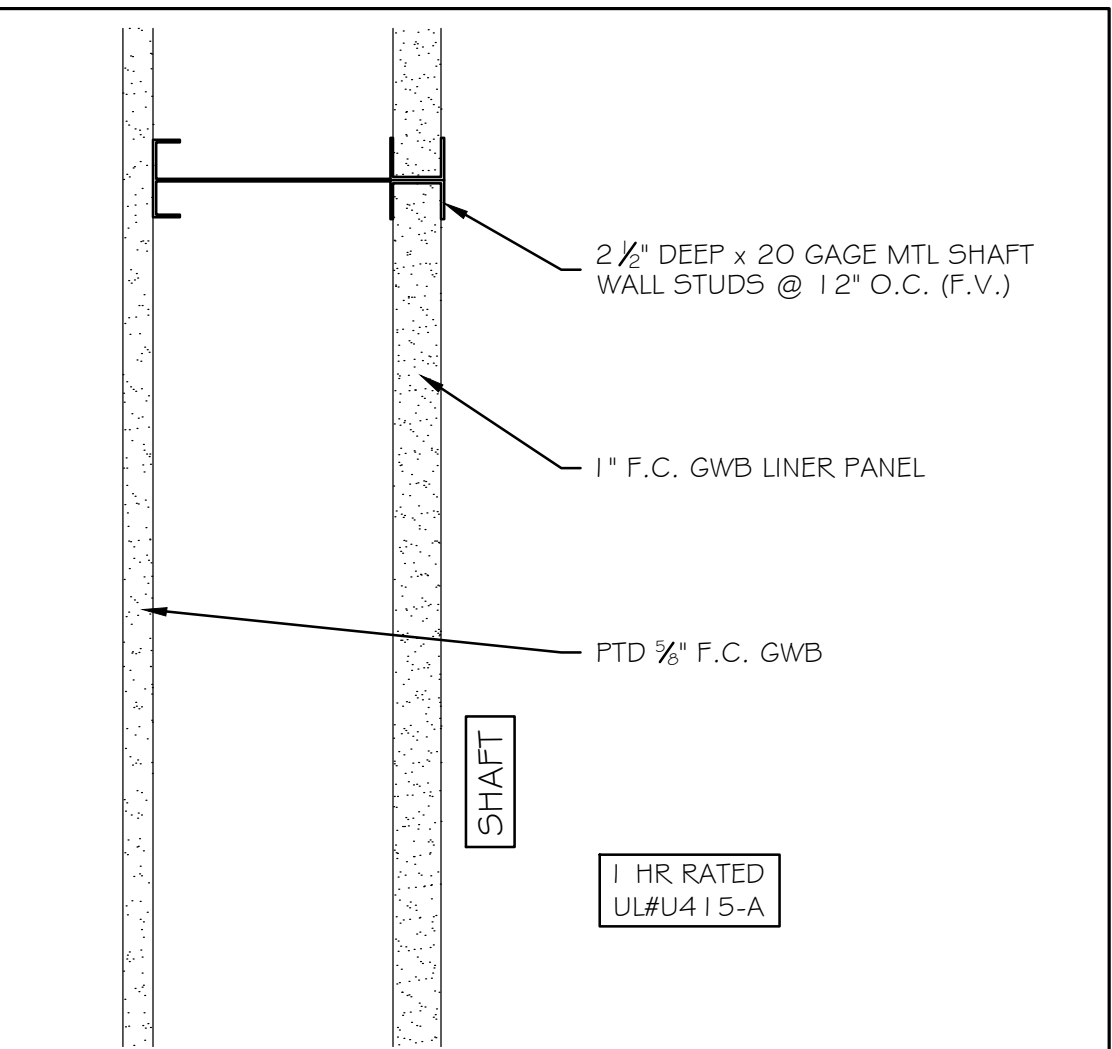
CONTRACT: 2023.10

SHEET NUMBER: A-15

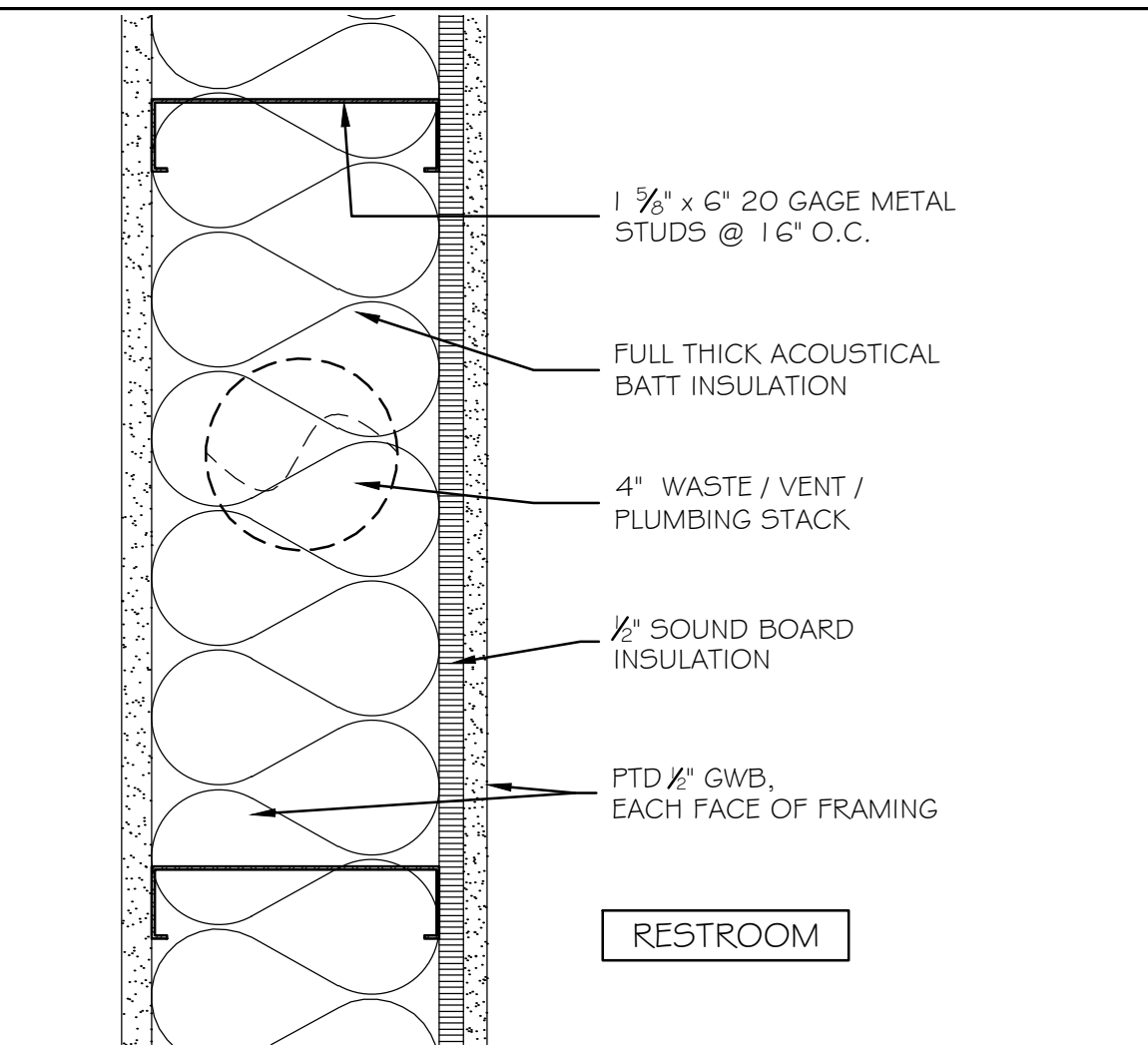
27 OF 70



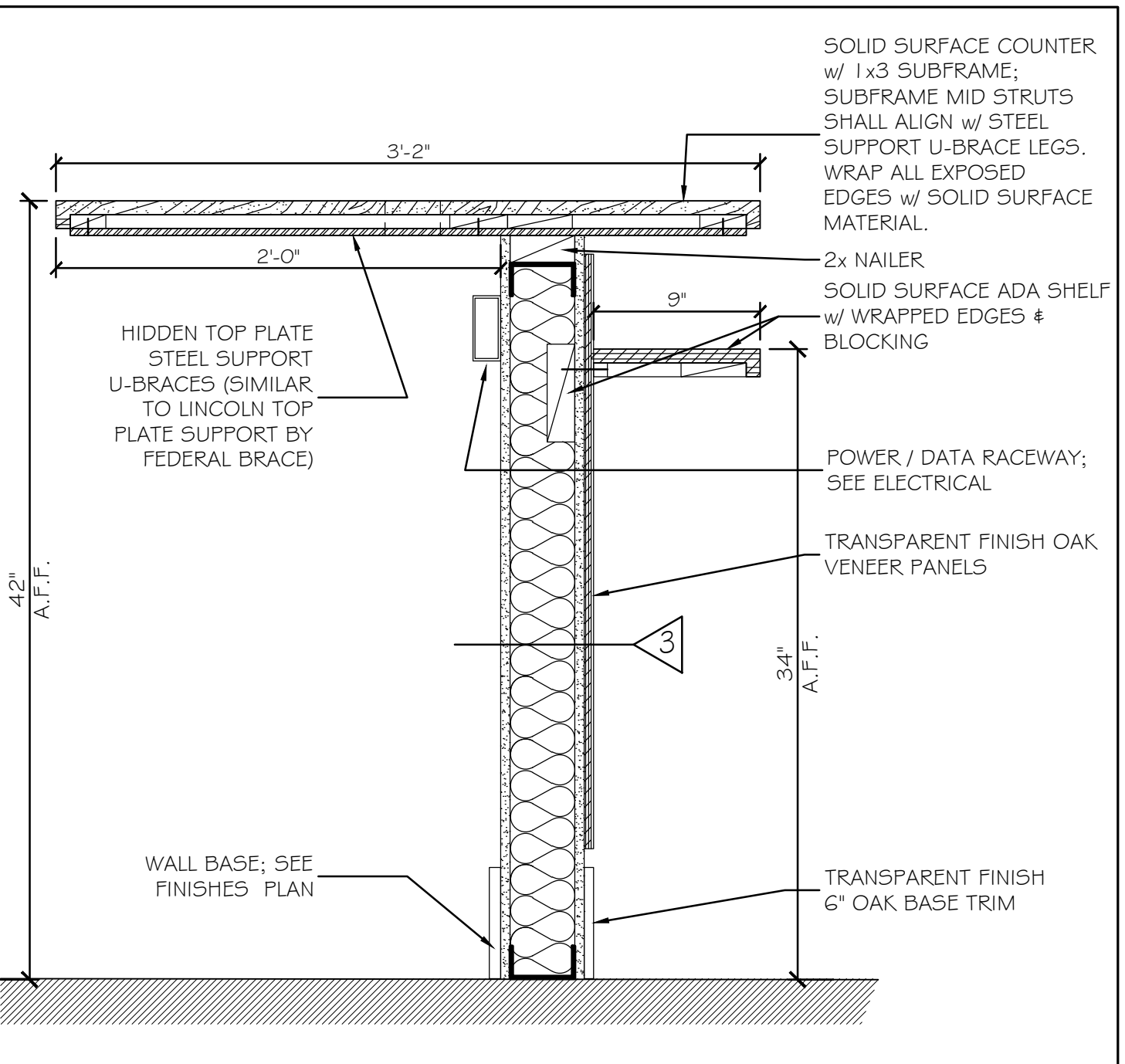
① INFILL AT FLOOR SLAB DEPRESSION 1" = 1'-0"



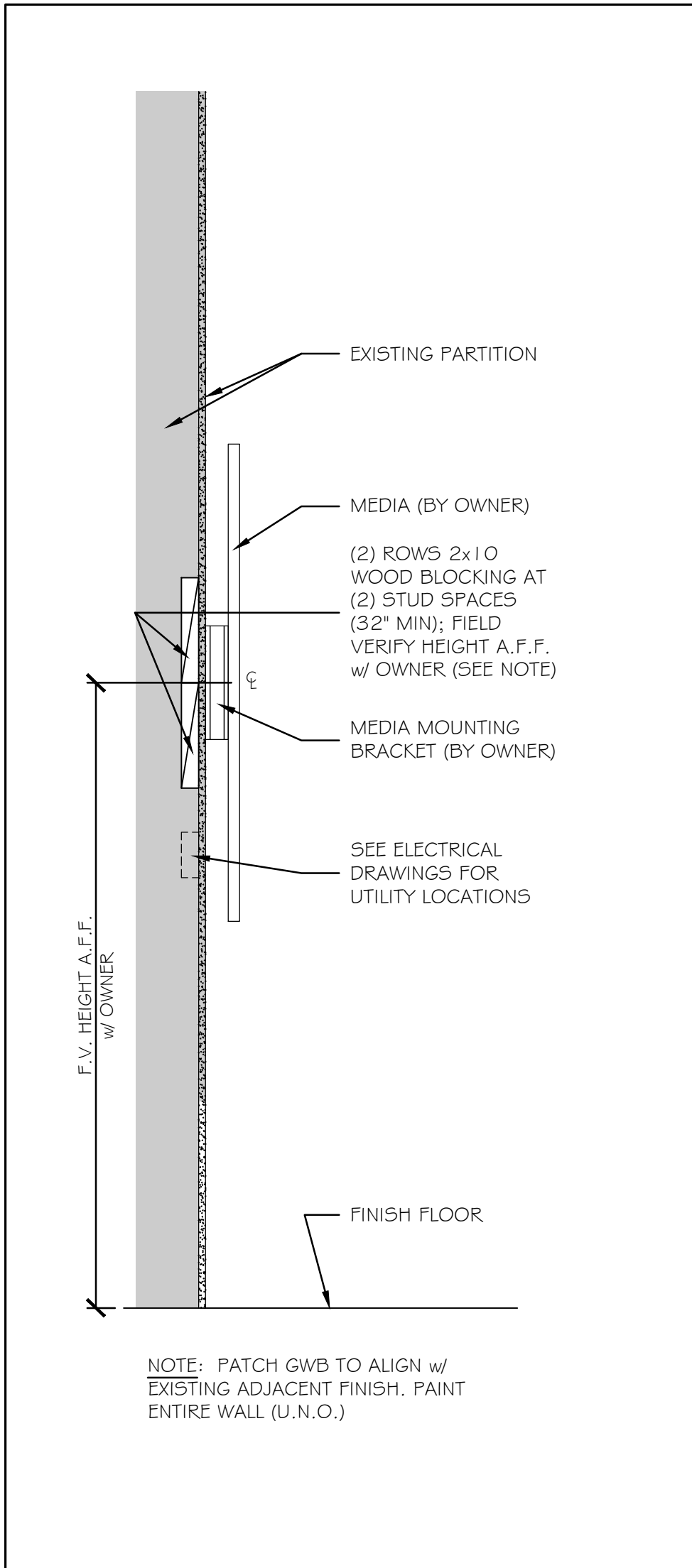
⑤ SHAFTWALL PARTITION 3" = 1'-0"



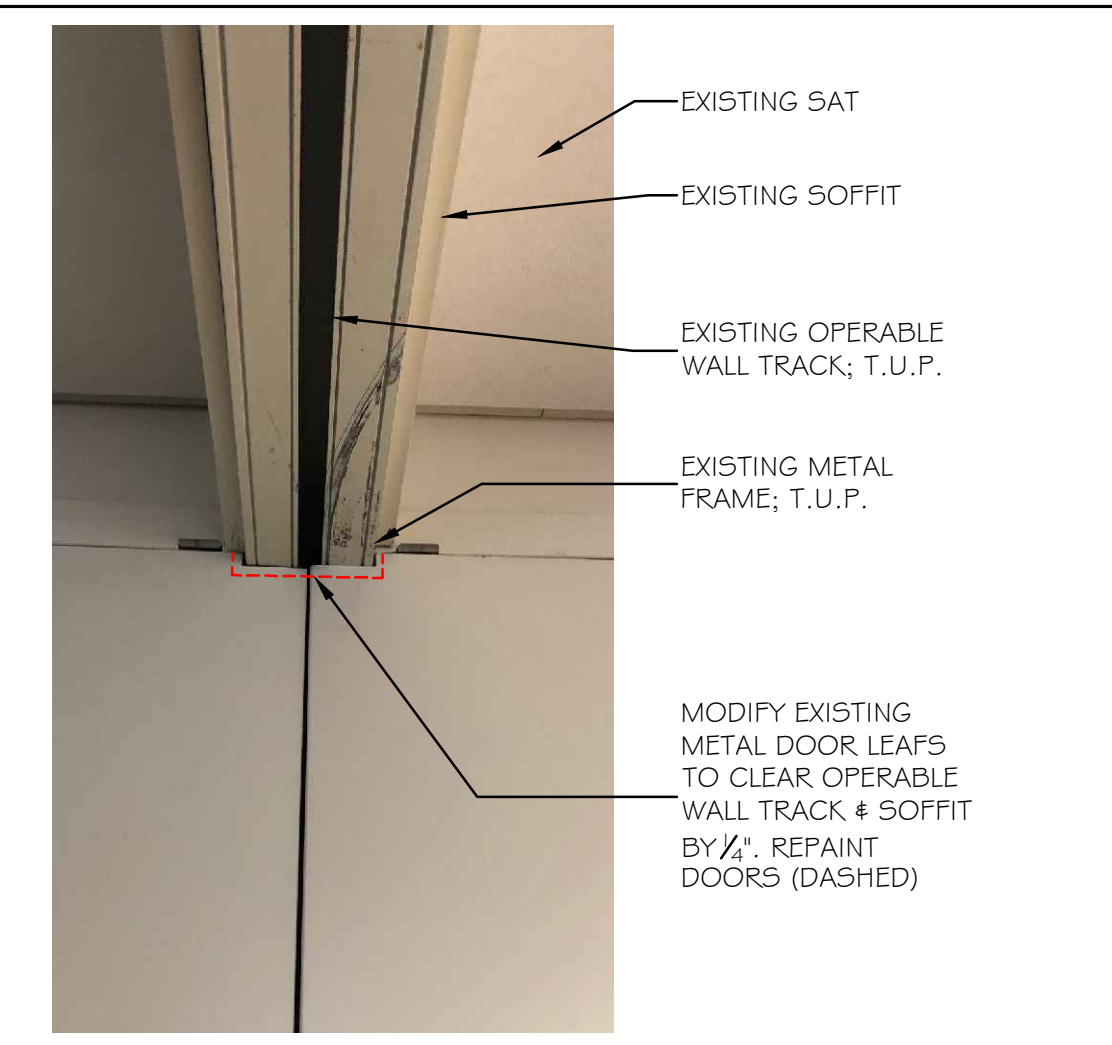
⑧ PARTITION TYPE 3" = 1'-0"



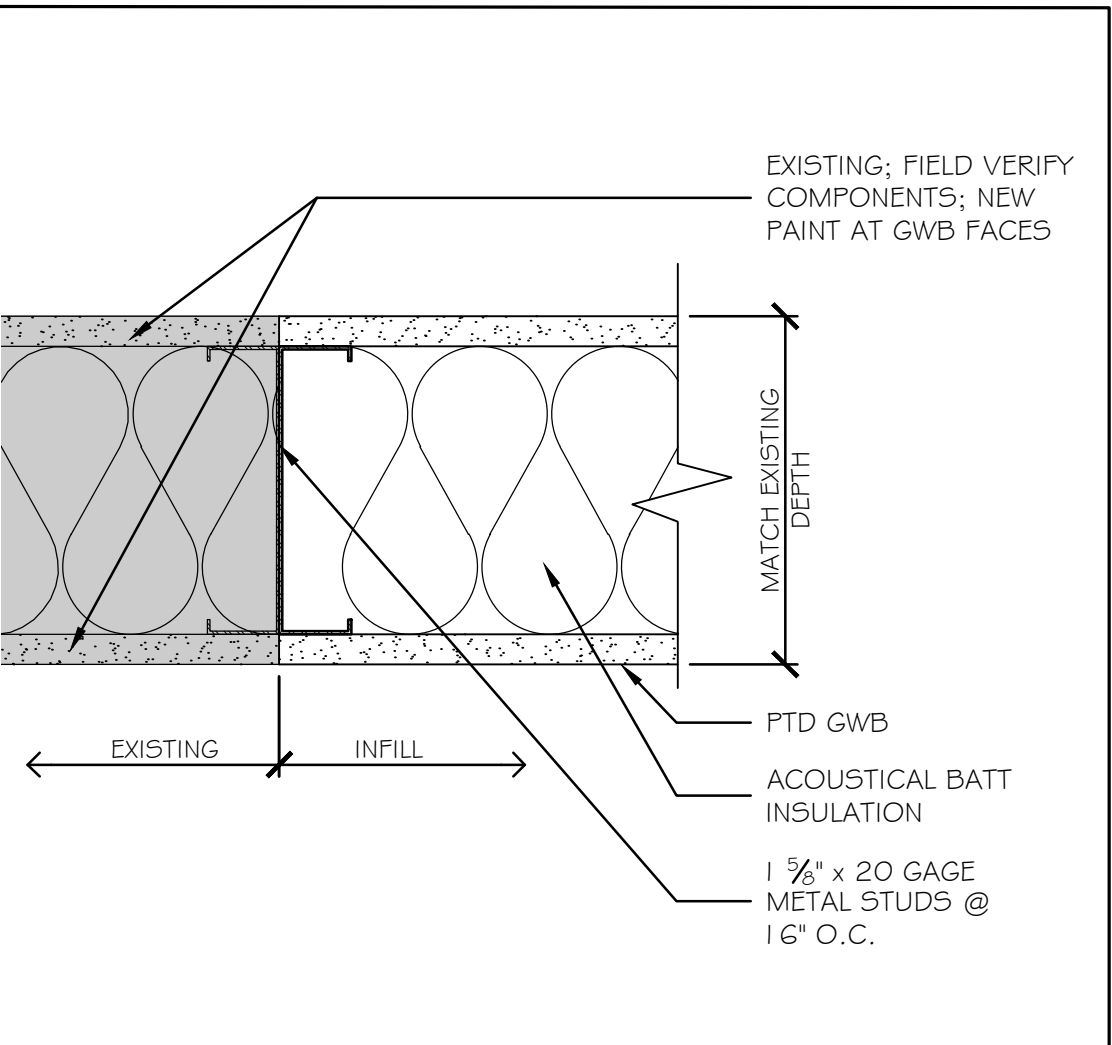
① SECTION AT TRANSACTION COUNTER 1 1/2" = 1'-0"



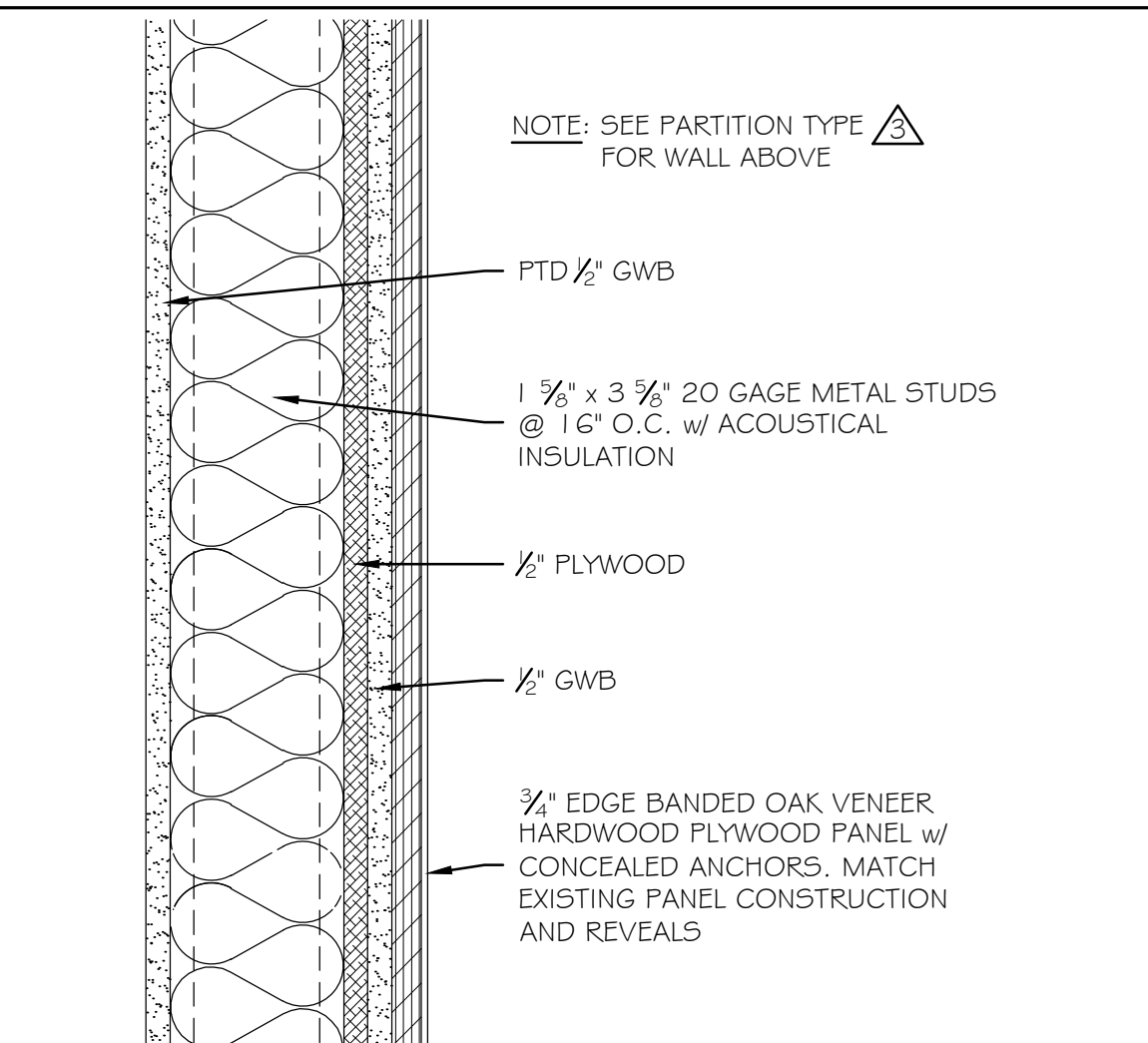
② MEDIA SUPPORT BLOCKING 1" = 1'-0"



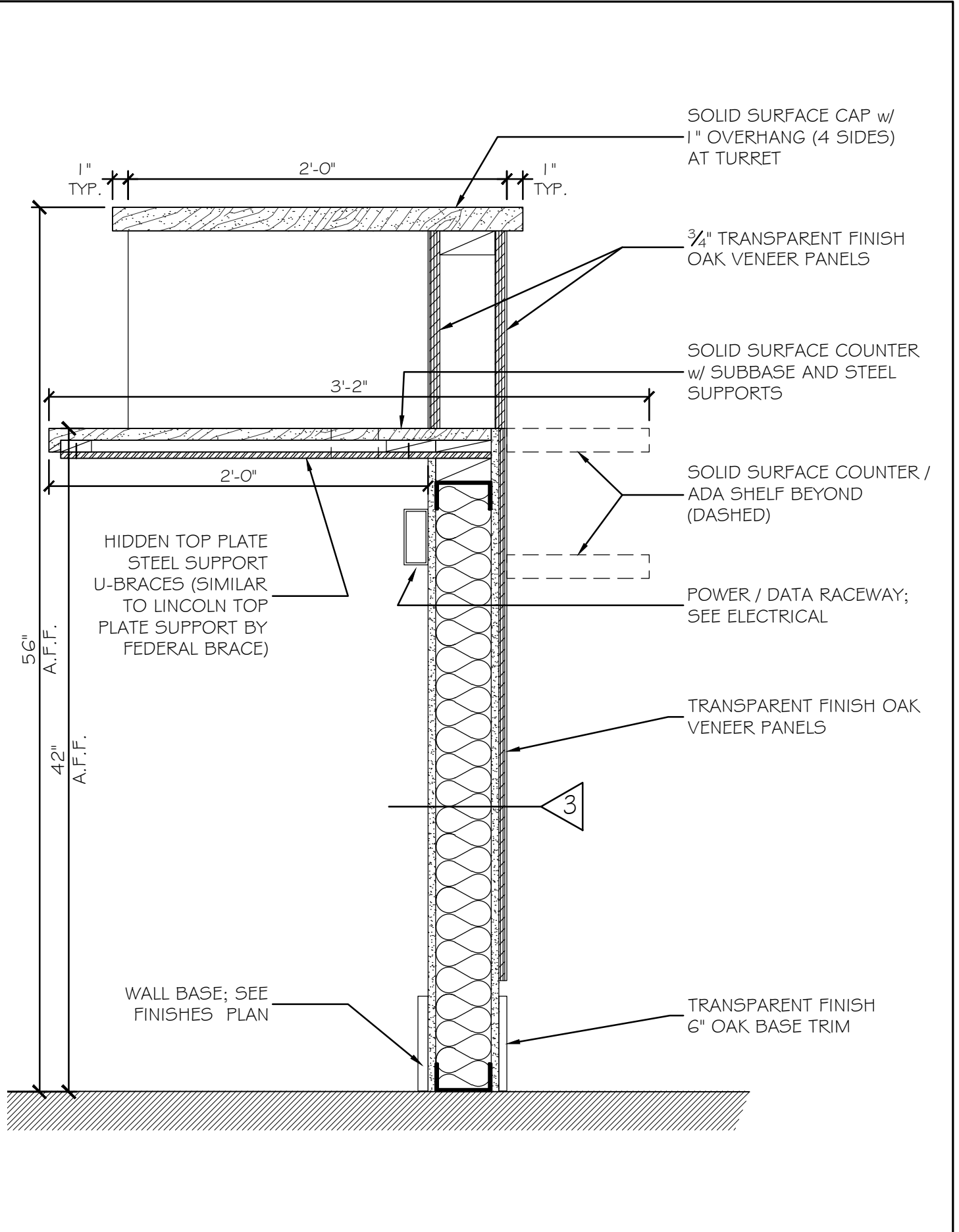
③ DOOR 23 I MODIFICATIONS NO SCALE



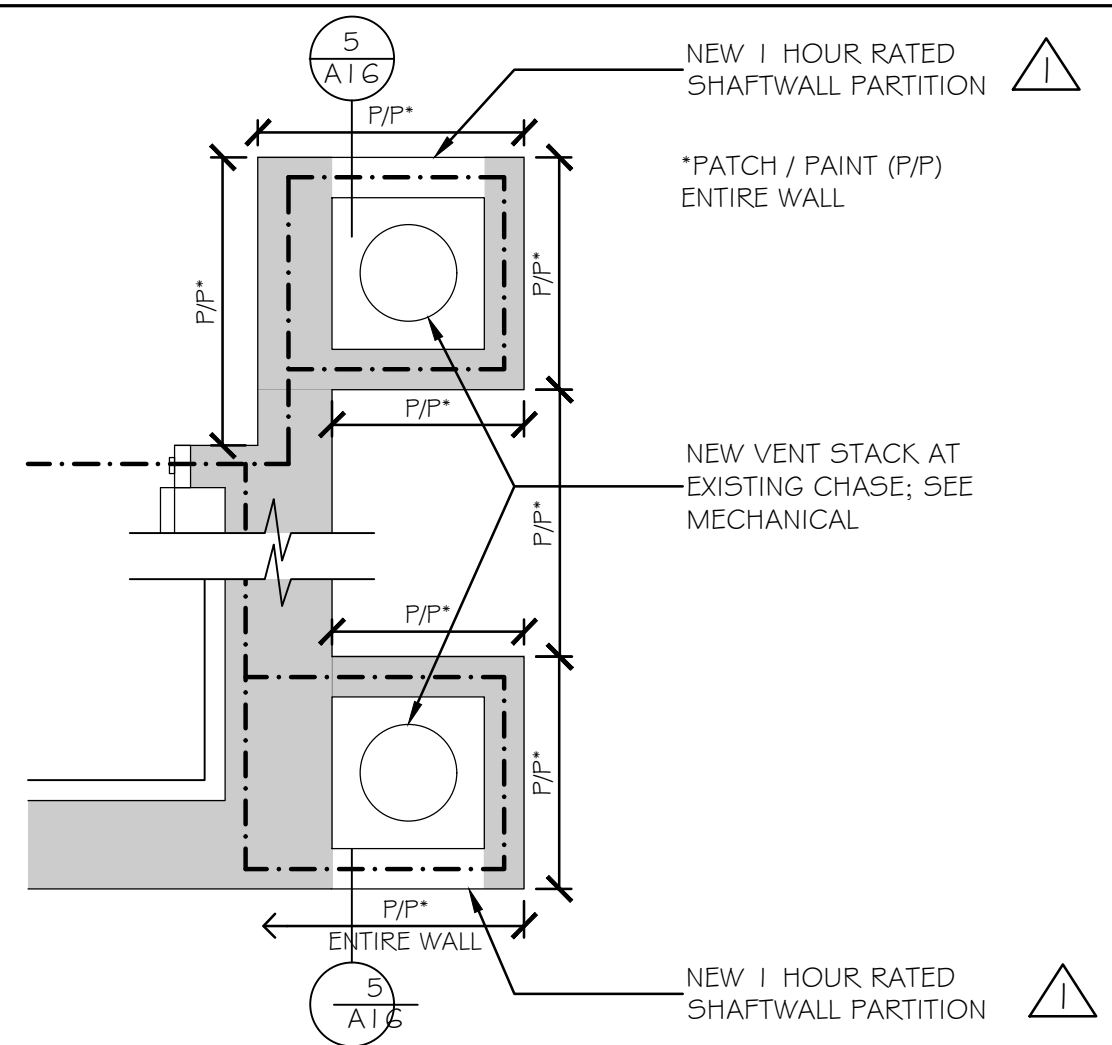
⑥ PARTITION INFILL DETAIL 3" = 1'-0"



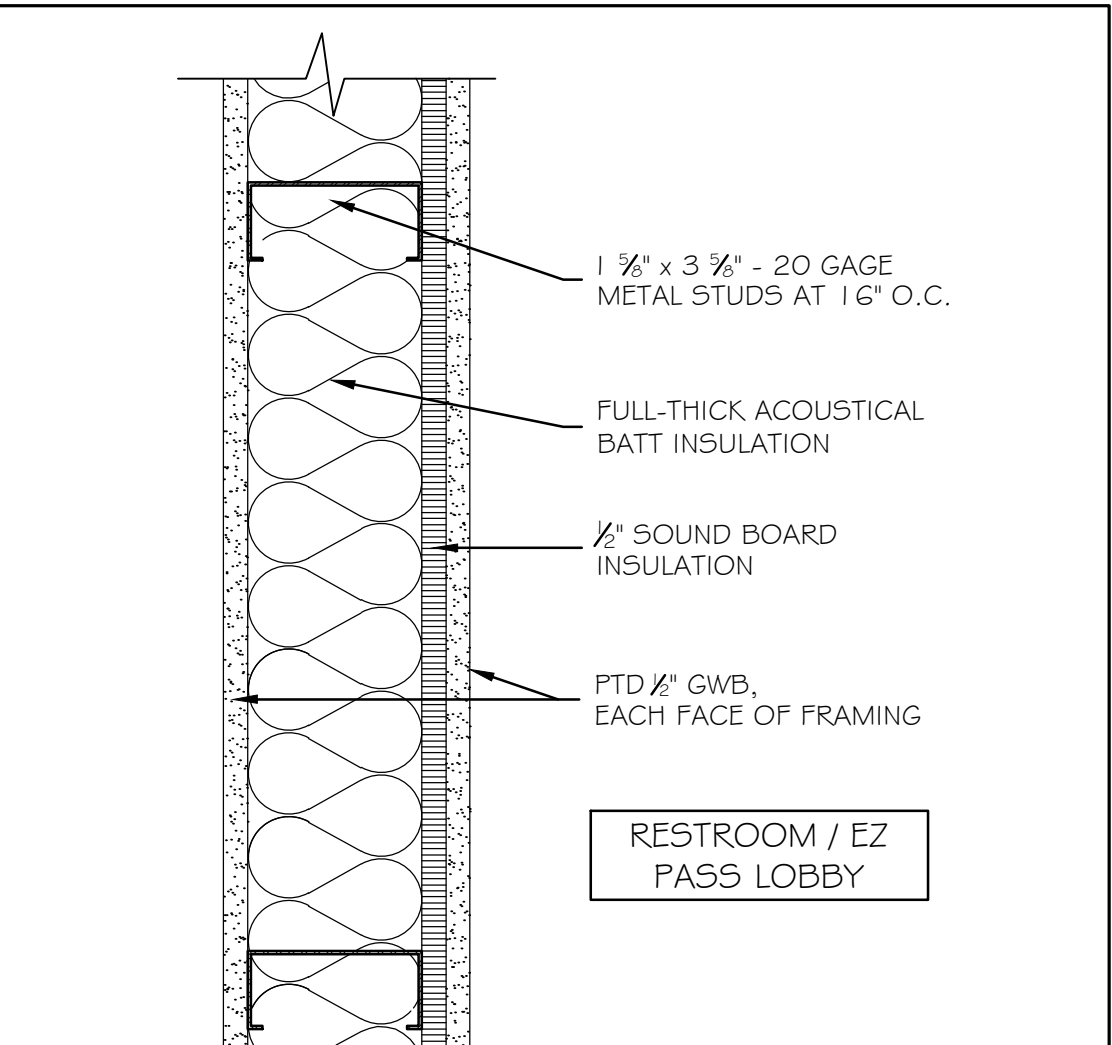
⑨ VENEER PANEL WALL DETAIL 3" = 1'-0"



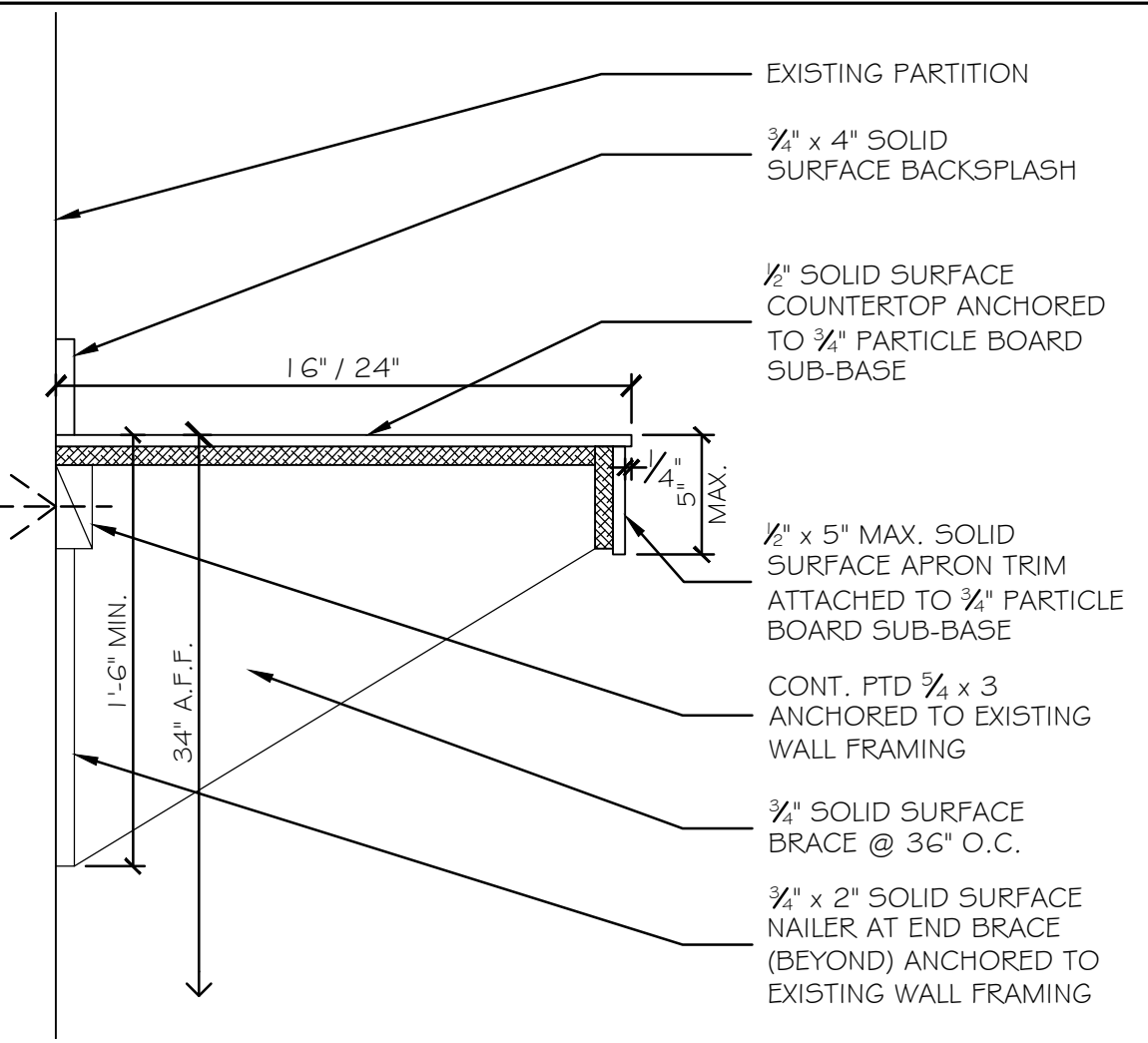
② SECTION AT COUNTER TURRET 1 1/2" = 1'-0"



④ SHAFT WALL AT NEW VENT STACK 1/2" = 1'-0"



⑦ PARTITION DETAIL 3" = 1'-0"



⑩ TRANSACTION COUNTER 1 1/2" = 1'-0"

Scale: AS NOTED			
No.	Revision	By	Date
1	ADDENDUM 1	MFH	3/19/24

Designed by:			
Michael F. Hays, RA			
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB			
Designed	By	Date	Checked
Drawn	By	Date	In Charge of
	MFH	02/26/24	MFH
	MGK	02/26/24	

GRANT HAYS ASSOCIATES

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MAINE TURNPIKE

THE GOLD STAR MEMORIAL HIGHWAY

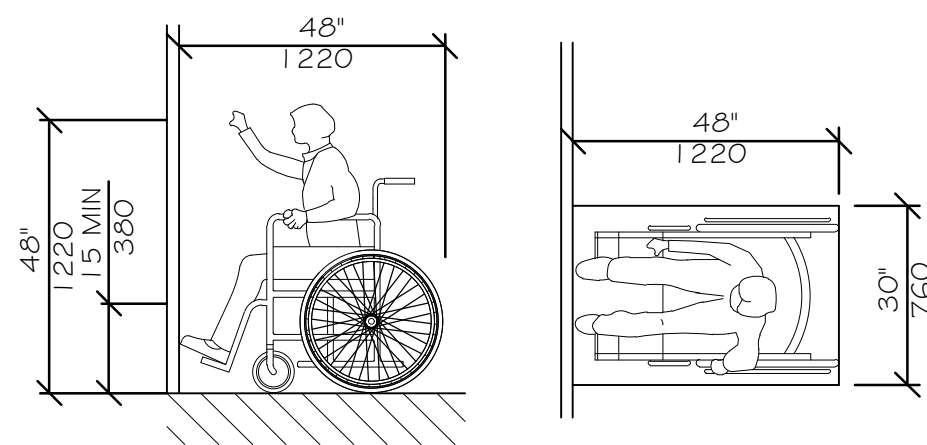
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT DETAILS

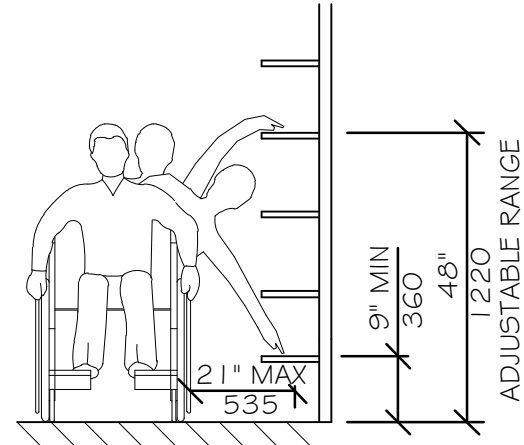
SHEET NUMBER: A-16

CONTRACT: 2023.10

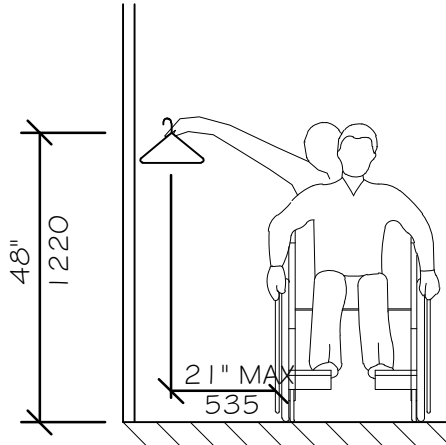
28 OF 70



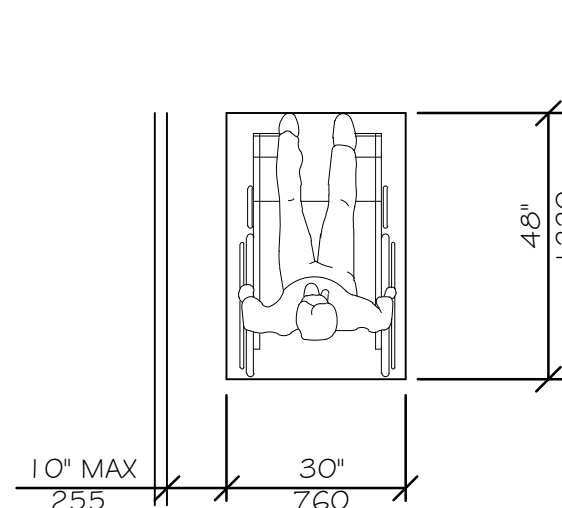
HIGH FORWARD REACH LIMIT
NTS



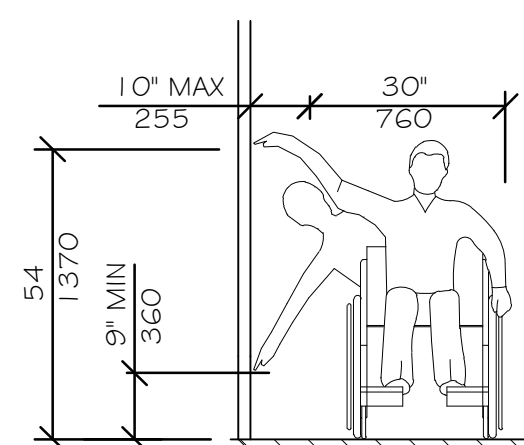
SHELVES
STORAGE SHELVES AND CLOSETS
NTS



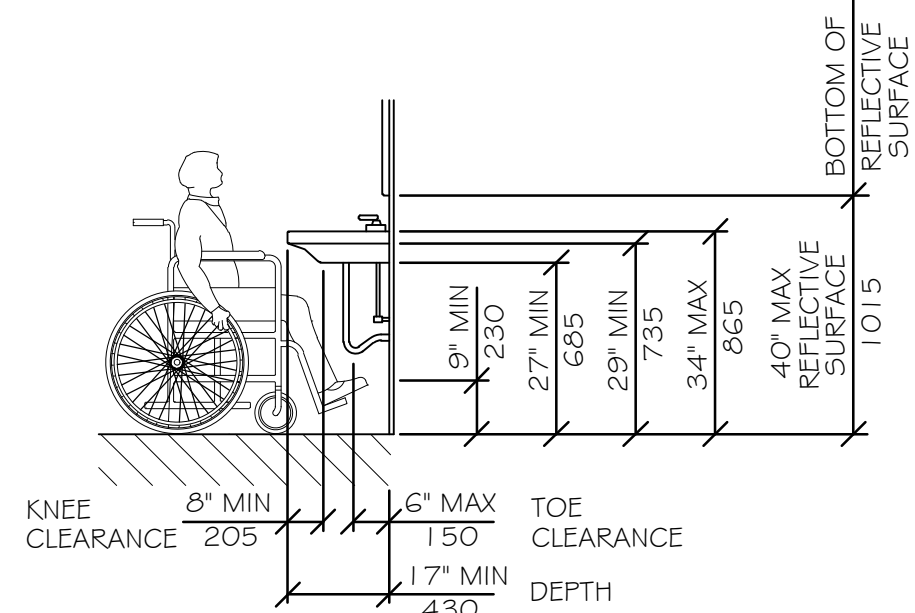
CLOSETS



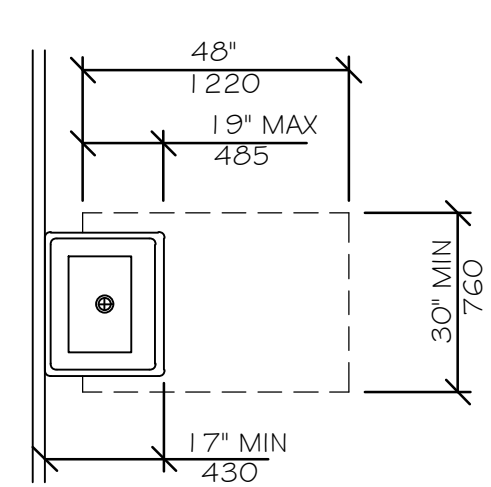
CLEAR FLOOR SPACE
PARALLEL APPROACH
NTS



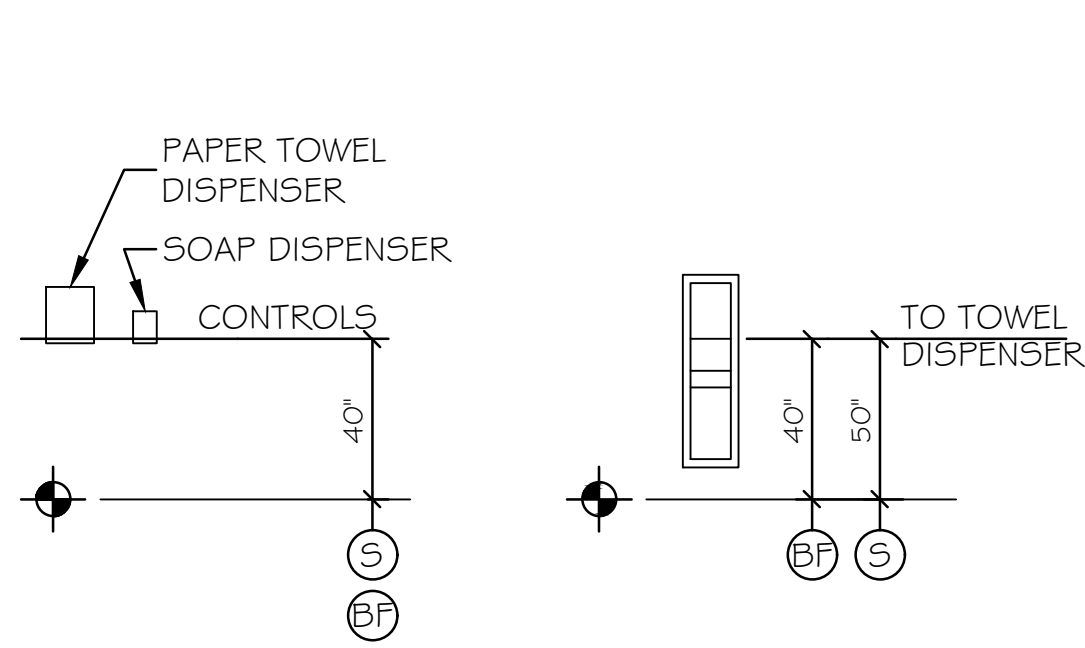
HIGH AND LOW
SIDE REACH LIMITS
NTS



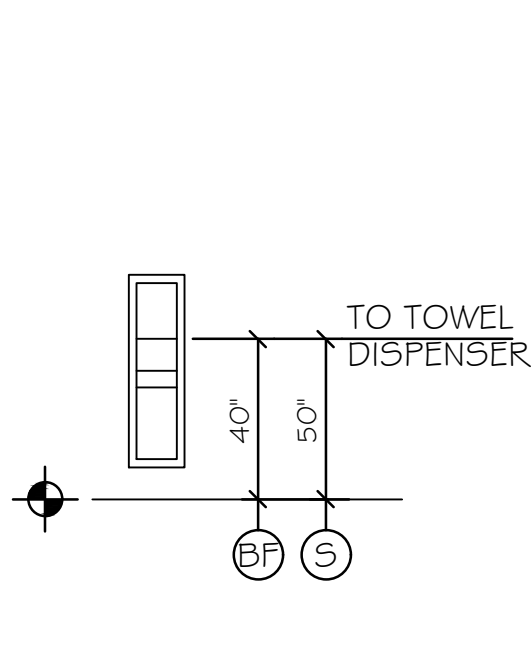
LAVATORY CLEARANCES
NTS



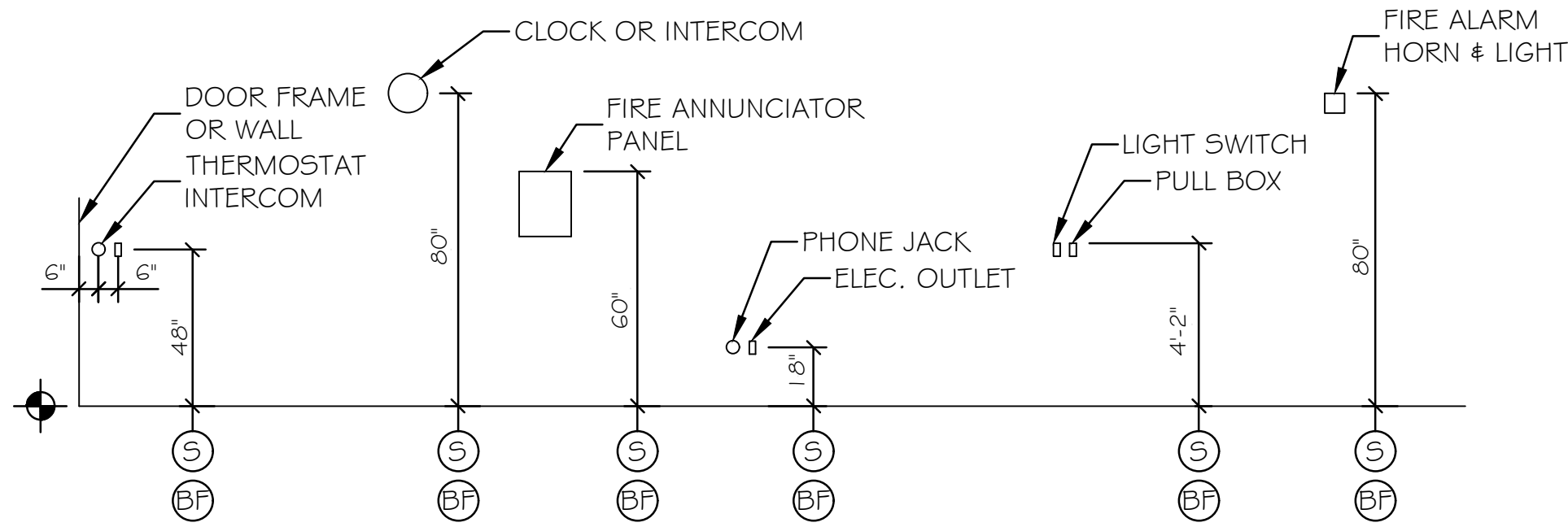
CLEAR FLOOR SPACE
AT LAVATORIES
NTS



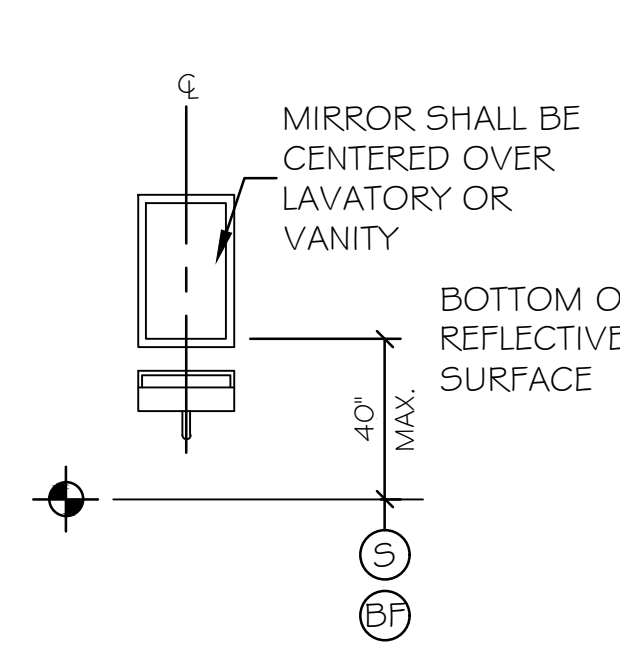
TOWEL & SOAP
DISPENSERS
NTS



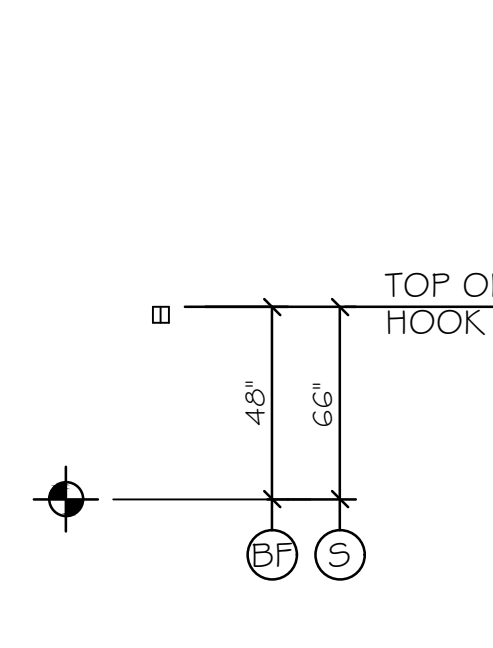
TOWEL DISPENSER
DISPOSAL UNIT
NTS



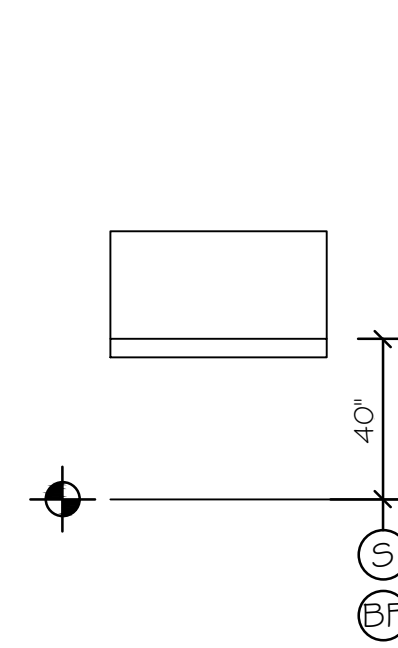
ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE
NTS



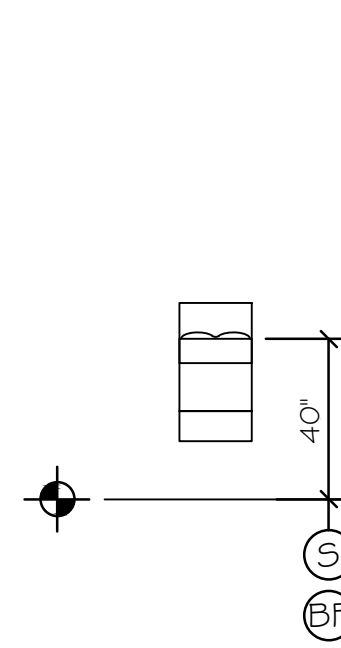
MIRROR OR MEDICINE CABINET
NTS



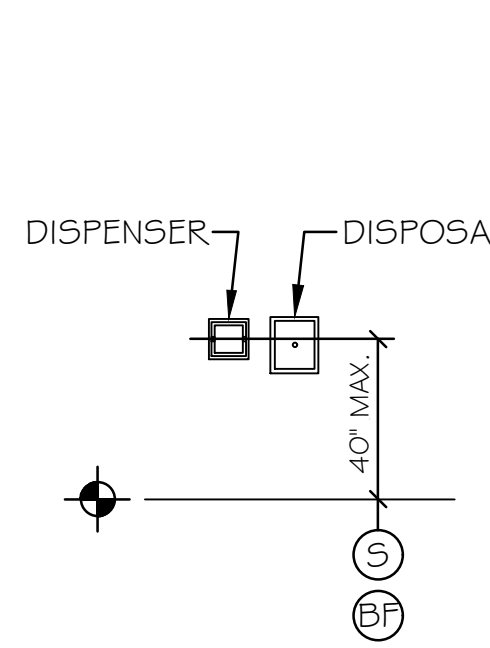
CLOTHES HOOK
NTS



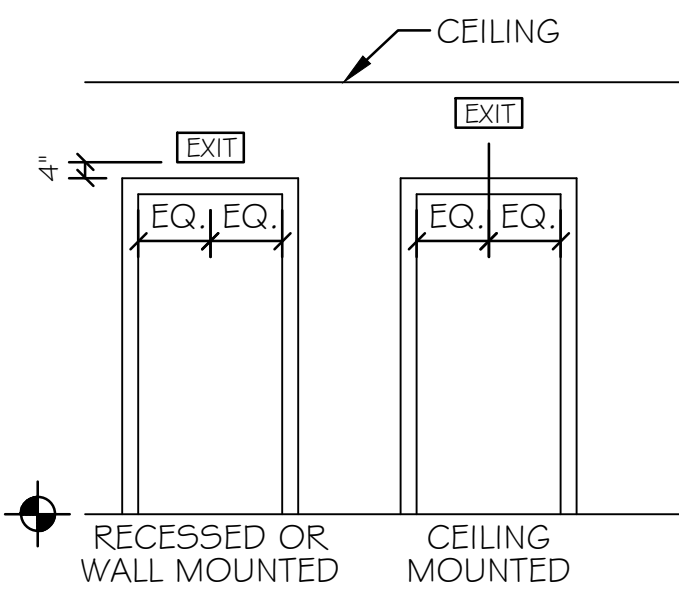
BABY CHANGE
STATION
NTS



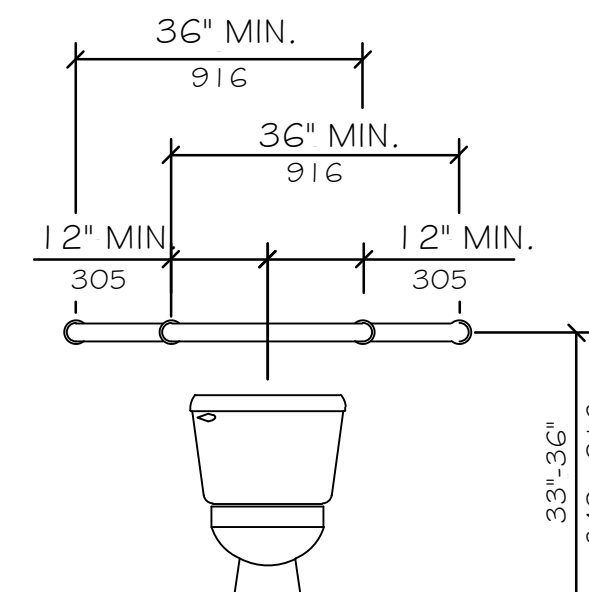
HAND DRYER
NTS



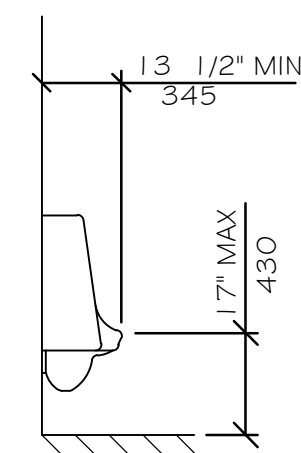
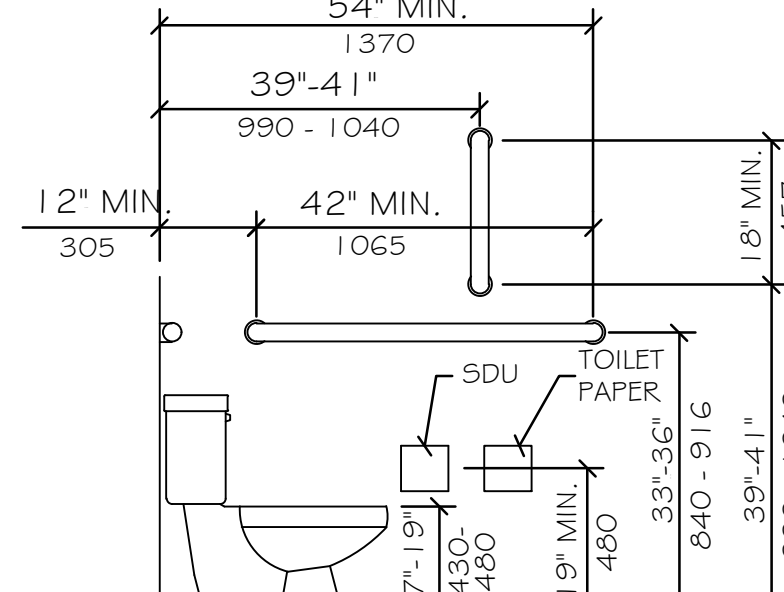
TOILET PAPER
DISPENSER &
SANITARY
DISPOSAL UNIT
NTS



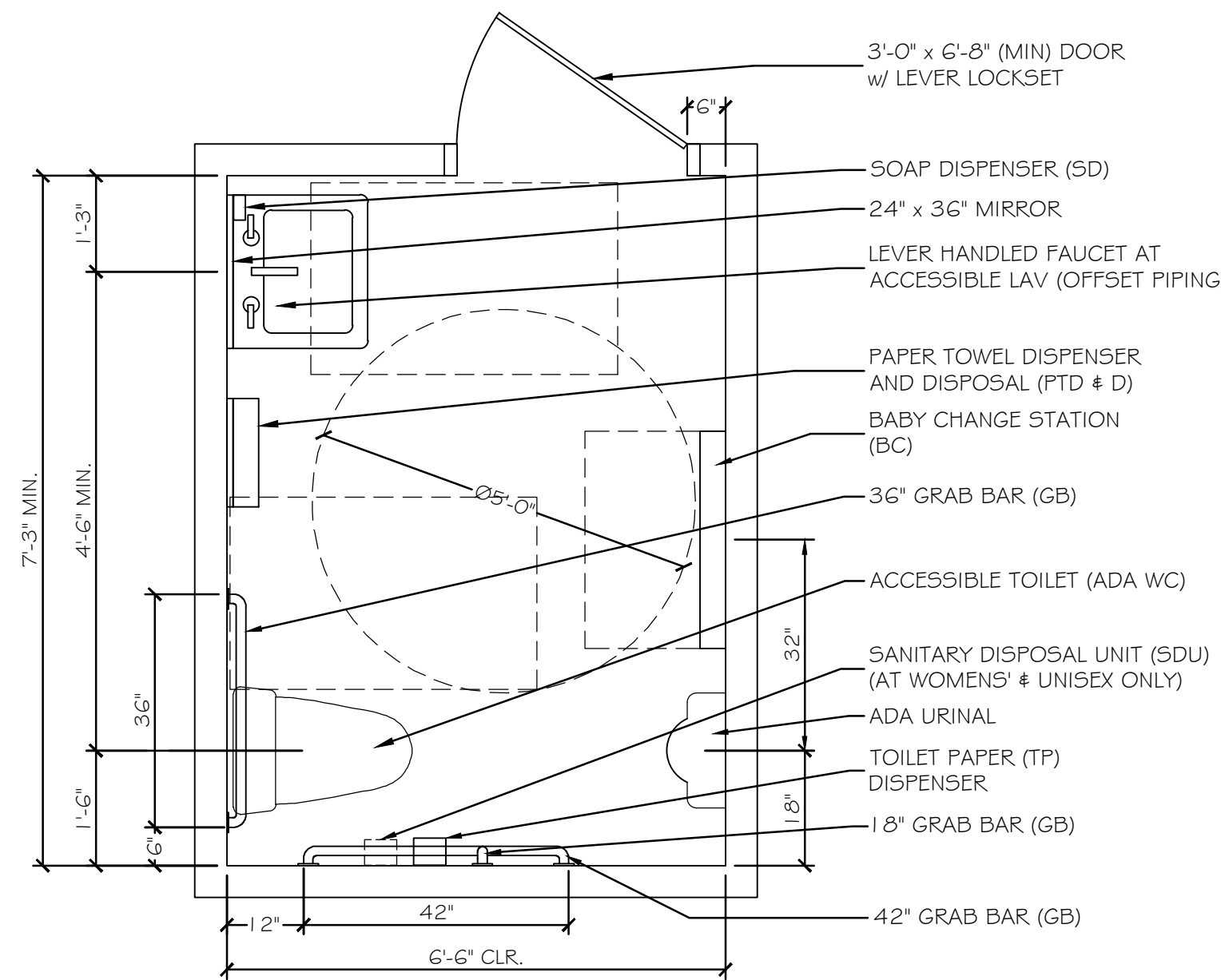
EXIT SIGNS
(TYPICAL UNLESS OTHERWISE NOTED)
NTS



GRAB BARS AT WATER CLOSETS
NTS



WALL HUNG TYPE
HEIGHT AND DEPTH OF URINAL
NTS



TYPICAL ACCESSORIES
NTS

ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

GRAB BARS	33"-36"
TOILET PAPER HOLDER	19" MIN
TOWEL BAR/PAPER TOWEL DISPENSER	48" MAX
BUILT IN PAPER TOWEL DISPENSER	48" MAX
SOAP DISH/DISPENSER AT WALL	48" MAX
SANITARY DISPOSAL UNIT	19" MAX
MIRROR (BOTTOM OF REFLECTIVE SURFACE)	40" MAX
SHELVES/STORAGE	48" MAX
ELECTRICAL SWITCHES/OUTLETS	48" MAX
COAT HOOKS/RODS	48" MAX
SIGNAGE (TO BRAILLE COMPONENT)	60" MAX

ACCESSIBILITY GENERAL NOTES

1. DOORWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WITH THE DOOR OPEN 90 DEGREES. MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
2. ALL DOORS SHALL HAVE LEVER HANDLE HARDWARE, EXCEPT AT SECURED STORAGE ROOMS, MECHANICAL ROOMS, AND ELEVATOR MACHINE ROOMS.
3. ALL CLOSERS SHALL BE 5LB PULL MAXIMUM AT DOORS EQUIPPED WITH LEVER HANDLE HARDWARE.
4. ALL DOORS WITH CLOSERS SHALL HAVE 18" CLEAR DISTANCE FROM THE LATCHSIDE OF THE OPENING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PUSH SIDE OF THE OPENING.
5. ALL DOORS WITH CLOSERS SHALL HAVE 12" CLEAR DISTANCE FROM THE LATCHSIDE OF THE OPENING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PUSH SIDE OF THE OPENING.
6. ALL SIGNAGE SHALL BE MOUNTED 60" AFF TO BRAILLE COMPONENT AT LATCH-SIDE WALL OF DOORS AND OPENINGS.
7. COMPLY WITH CURRENT EDITION OF THE AMERICANS WITH DISABILITIES ACT.
8. ALL WC FLUSH CONTROLS SHALL BE LOCATED ON THE TRANSFER SIDE OF FIXTURE.



SIGN (A)

LEGEND

- (S) STANDARD MOUNTING HEIGHT
- (BF) BARRIER FREE ADULT MOUNTING HEIGHT
- (F) FINISH FLOOR LINE

NOTE

MOUNT ALL FIXTURES AT STANDARD MOUNTING HEIGHT UNLESS INDICATED ON PLAN BY A (S) SYMBOL. A (BF) SYMBOL AT ANY ROOM SHALL INCLUDE ONE OF ANY FIXTURE AND ACCESSORY WITHIN THE ROOM.

Scale: NO SCALE

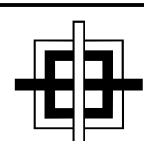
Designed by:

Michael F. Hays, RA



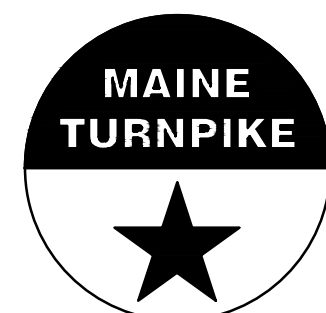
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		



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ASSOCIATES

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THE GOLD STAR
MEMORIAL HIGHWAY

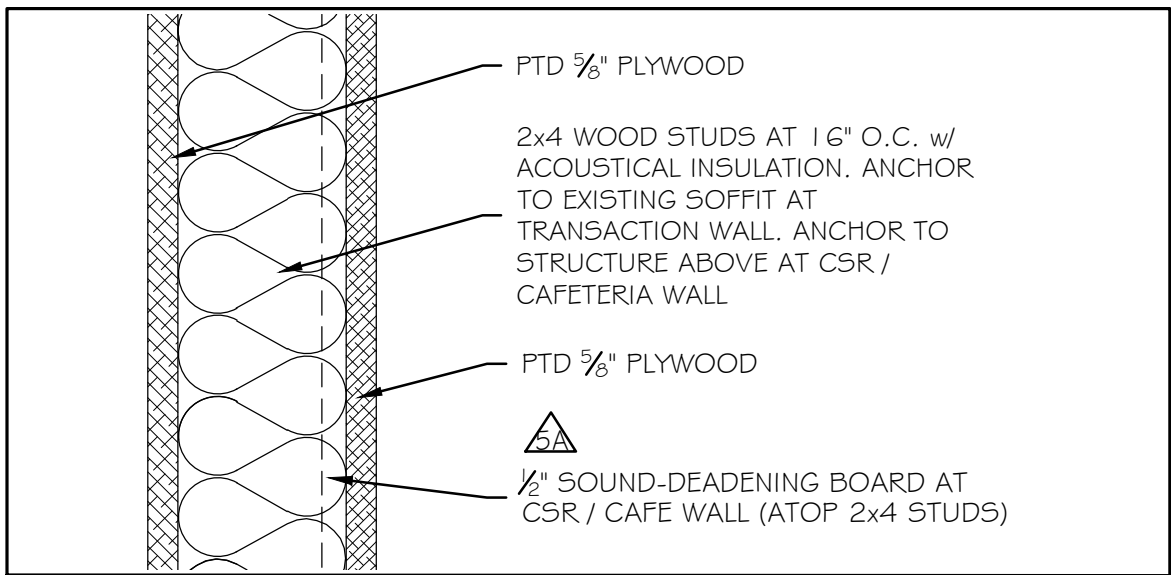
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
ACCESSIBILITY DETAILS & NOTES

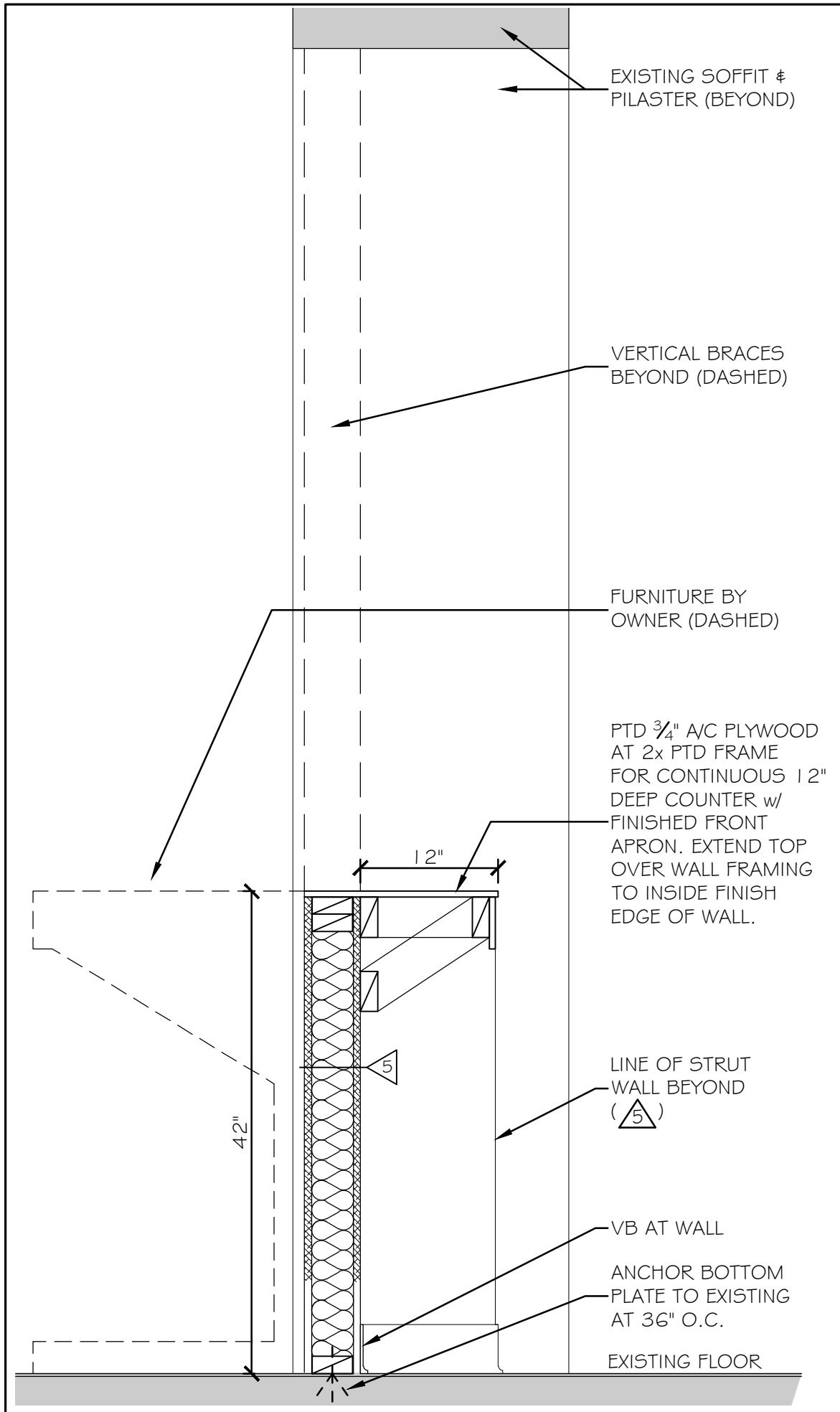
CONTRACT: 2023.10

SHEET NUMBER: A-17

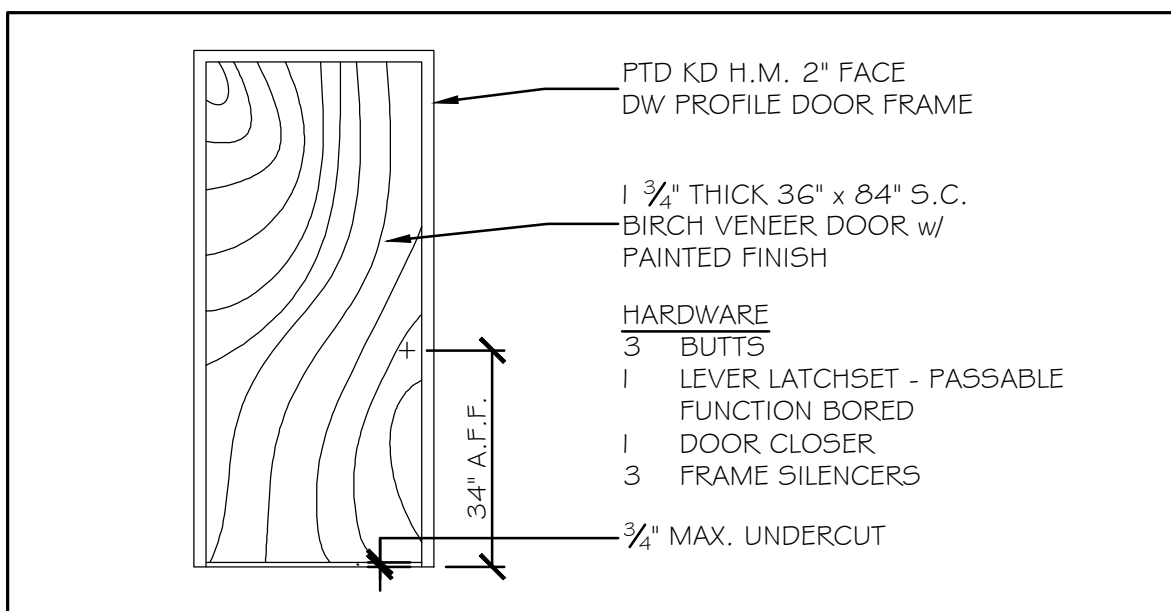
29 OF 70



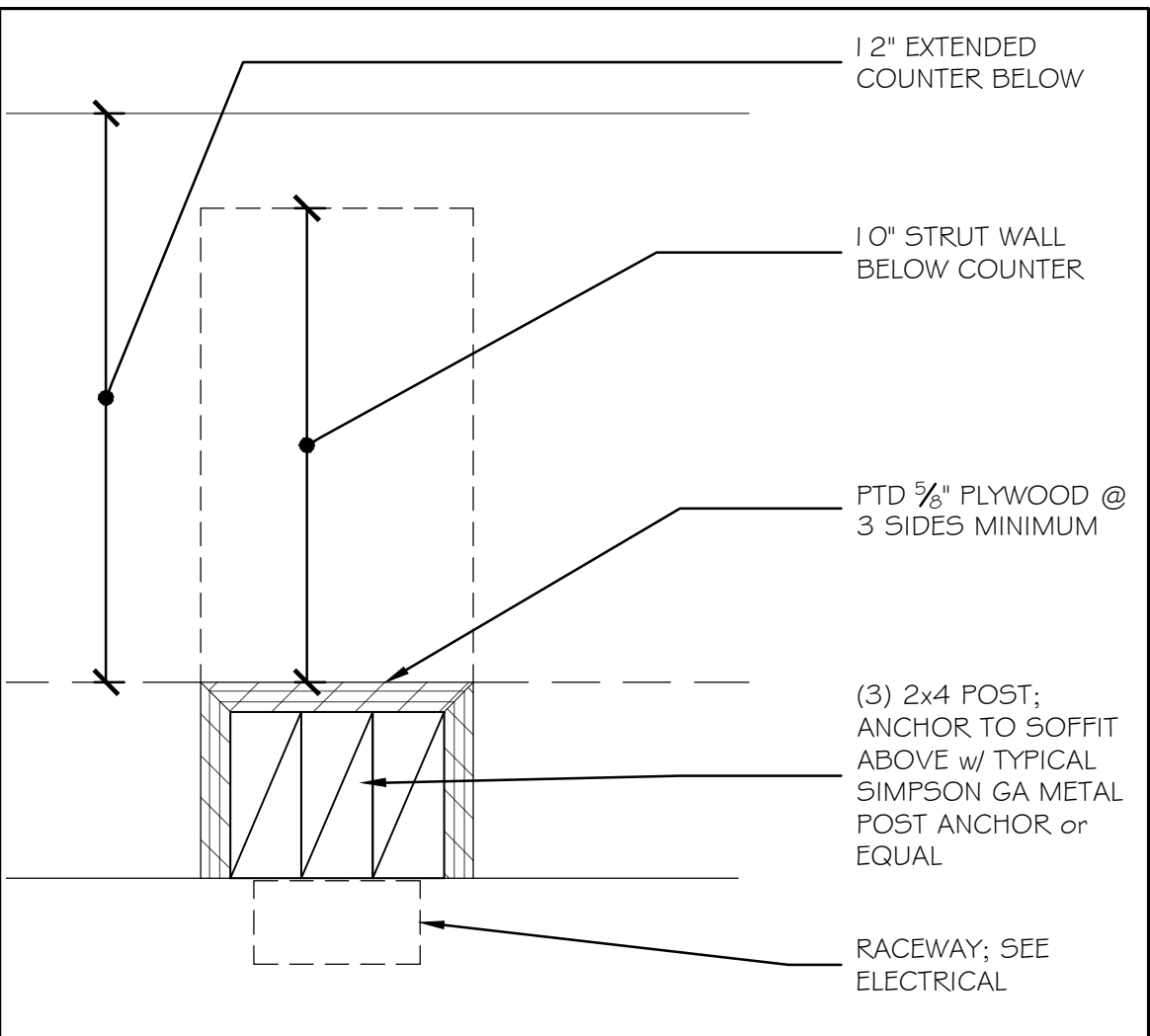
① TEMPORARY WALL DETAIL 3" = 1'-0"



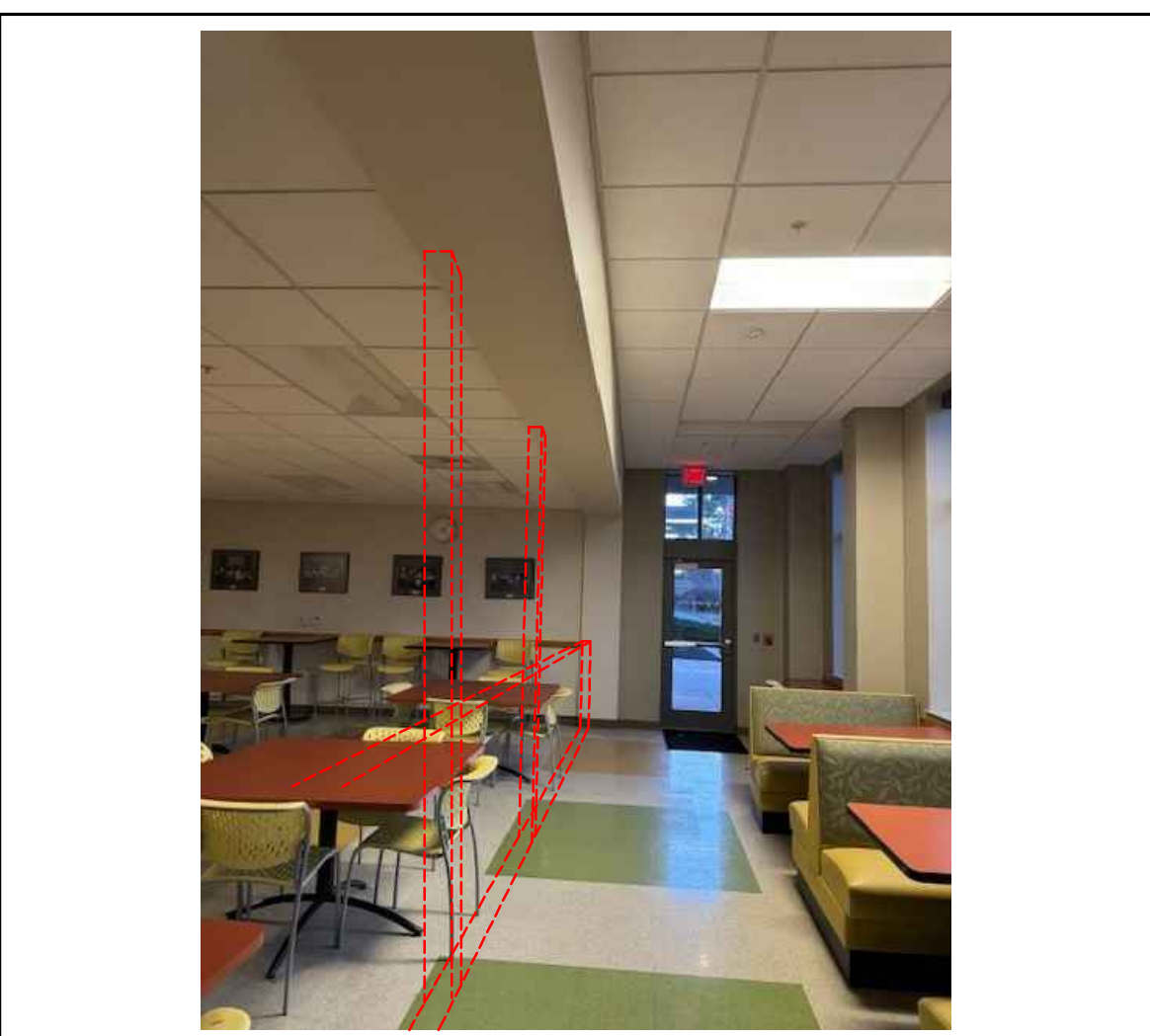
② TRANSACTION WINDOW WALL SECTION 1" = 1'-0"



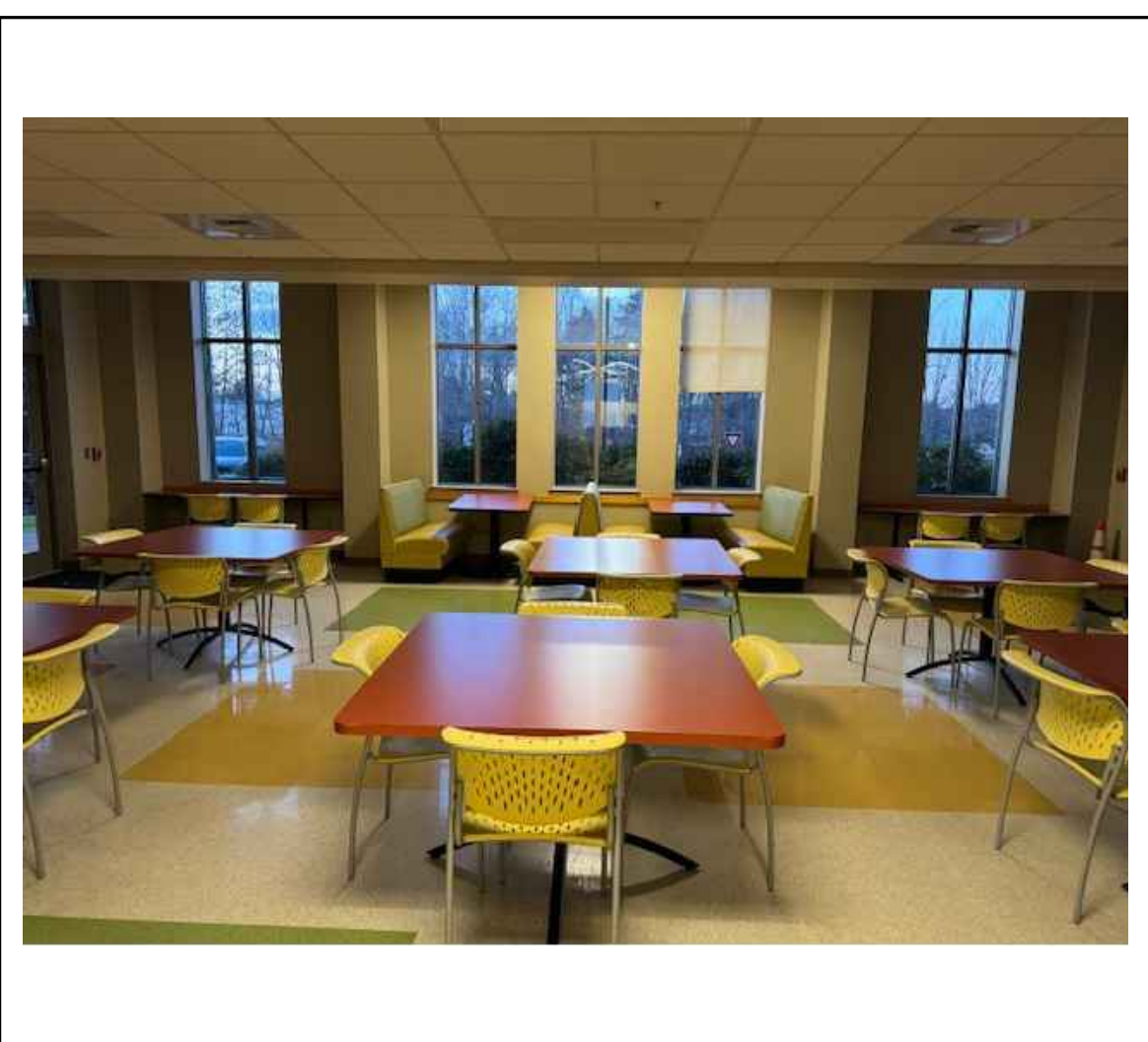
③ EZ PASS CSR TEMPORARY DOOR NO SCALE



④ SUPPORT POST DETAIL 3" = 1'-0"



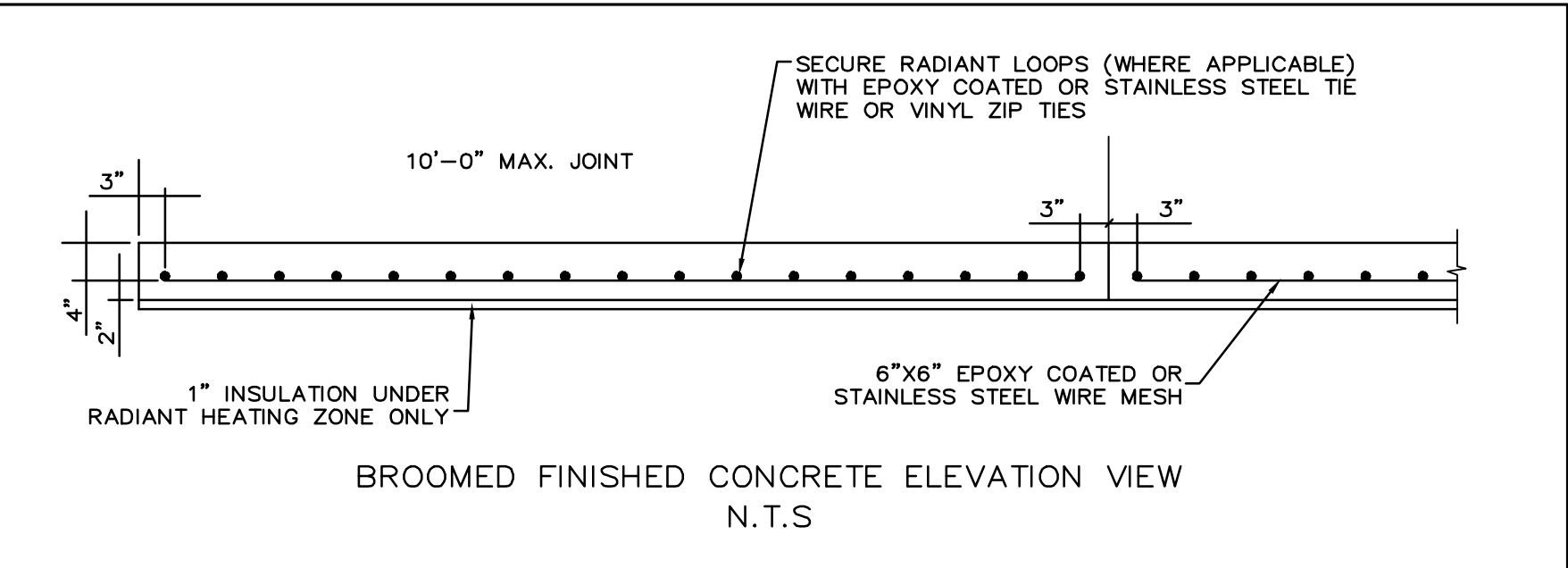
⑤ VIEW AT BREAK ROOM DOOR 170



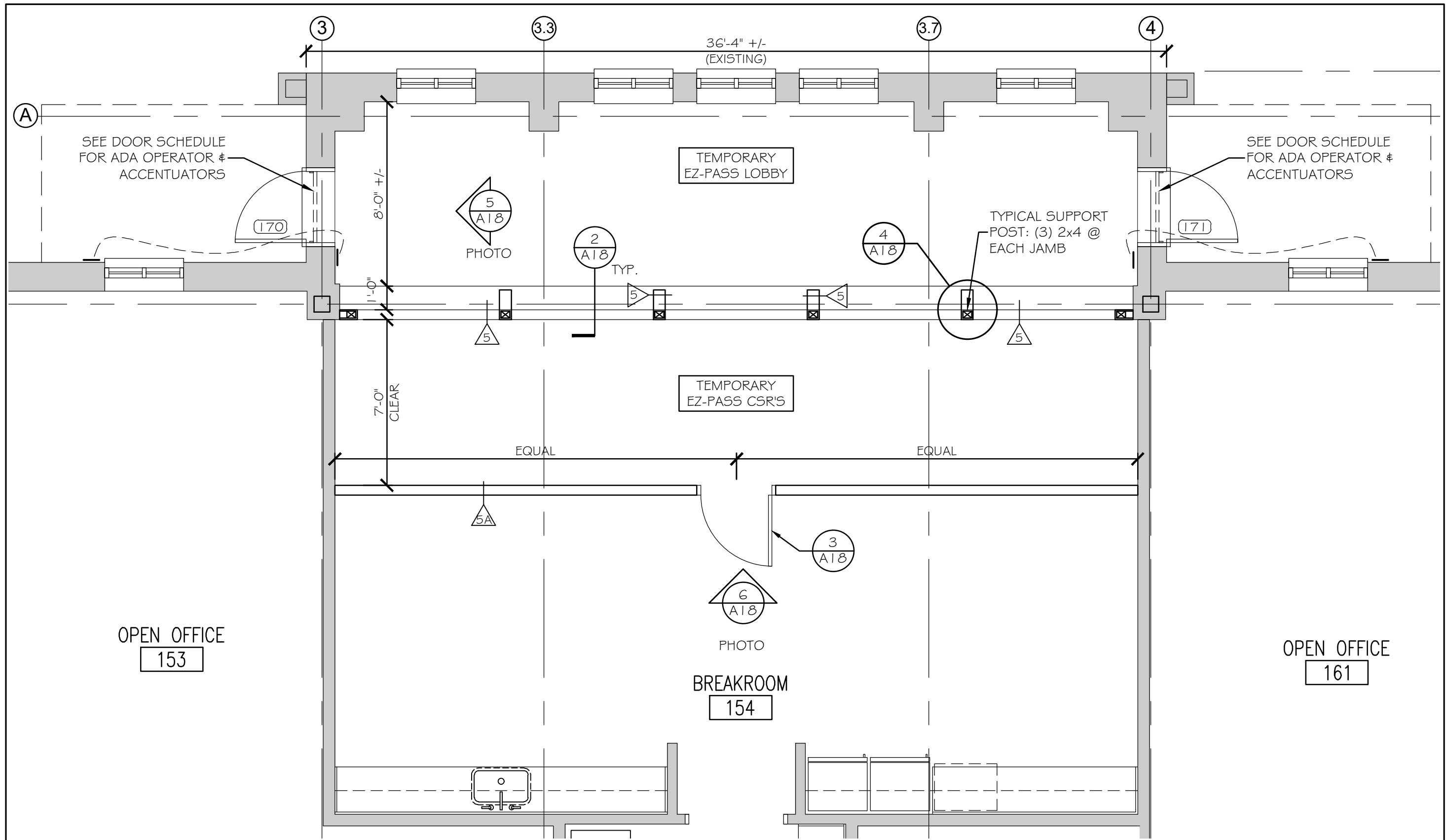
⑥ VIEW FROM BREAK ROOM TO TEMP. EZ PASS RETAIL

1. THE OWNER WILL REMOVE EXISTING FURNISHING IN THE AREA OF THE TEMPORARY EZ-PASS RETAIL LOCATION. OWNER WILL REINSTALL FURNISHINGS AT THE COMPLETION OF THE WORK.
2. ERECT DUST PARTITION DURING INITIAL CONSTRUCTION OF TEMPORARY WALLS IN BREAK ROOM FOR EZ-PASS RETAIL AREA.
3. PROTECT EXISTING FLOORING FINISHES DURING CONSTRUCTION AND REMOVAL OPERATIONS.
4. PATCH AND PAINT (P/P) WALL CONSTRUCTION AT ALL LOCATIONS WHERE MECHANICAL AND/OR ELECTRICAL WORK IS PERFORMED WHEREBY EXISTING CONSTRUCTION AND/OR FINISHES MAY BE AFFECTED. PATCHING SHALL MATCH EXISTING CONSTRUCTION/FINISH SYSTEM U.N.O. PAINTING OF PATCHED AREA SHALL EXTEND FROM FLOOR TO CEILING; CORNER TO CORNER OF WALL AREA, U.N.O. COLOR SHALL MATCH EXISTING.
5. REPLACE SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION GRID COMPONENTS DAMAGED OR SOILED DURING CONSTRUCTION AND REMOVAL OPERATIONS. MATCH EXISTING.
6. REPAINT ENTIRE EXISTING SOFFIT AND WALL PILASTERS ONCE EZ-PASS RETAIL TRANSACTION WINDOW WALL HAS BEEN REMOVED.
7. REPLACE ALL EXISTING VCT FLOORING UNDER REMOVED TEMPORARY PARTITIONS ANCHORS. UTILIZE OWNER'S MAINTENANCE STOCK OR NEW COLOR-MATCH PRODUCT.
8. CLEAN AND POLISH ENTIRE BREAK ROOM FLOOR ONCE TEMPORARY EZ-PASS RETAIL AREA IS NO LONGER NEEDED. THE OWNER WILL REMOVE AND REINSTALL EXISTING FURNITURE (BOOTHs, TABLES & CHAIRS).
9. PARTITION TYPE 5 SHALL HAVE SIX (6) QUAD OUTLETS AND SIX (6) DATA BOXES FACING THE CSR SIDE OF THE WALL. REFER TO ELECTRICAL DRAWINGS.
10. PROVIDE ELECTRICAL POWER AND DATA IN THE EXISTING EXTERIOR WALL FOR THE OWNER'S ATM MACHINE. SEE ELECTRICAL DRAWINGS. COORDINATE LOCATION WITH THE OWNER.

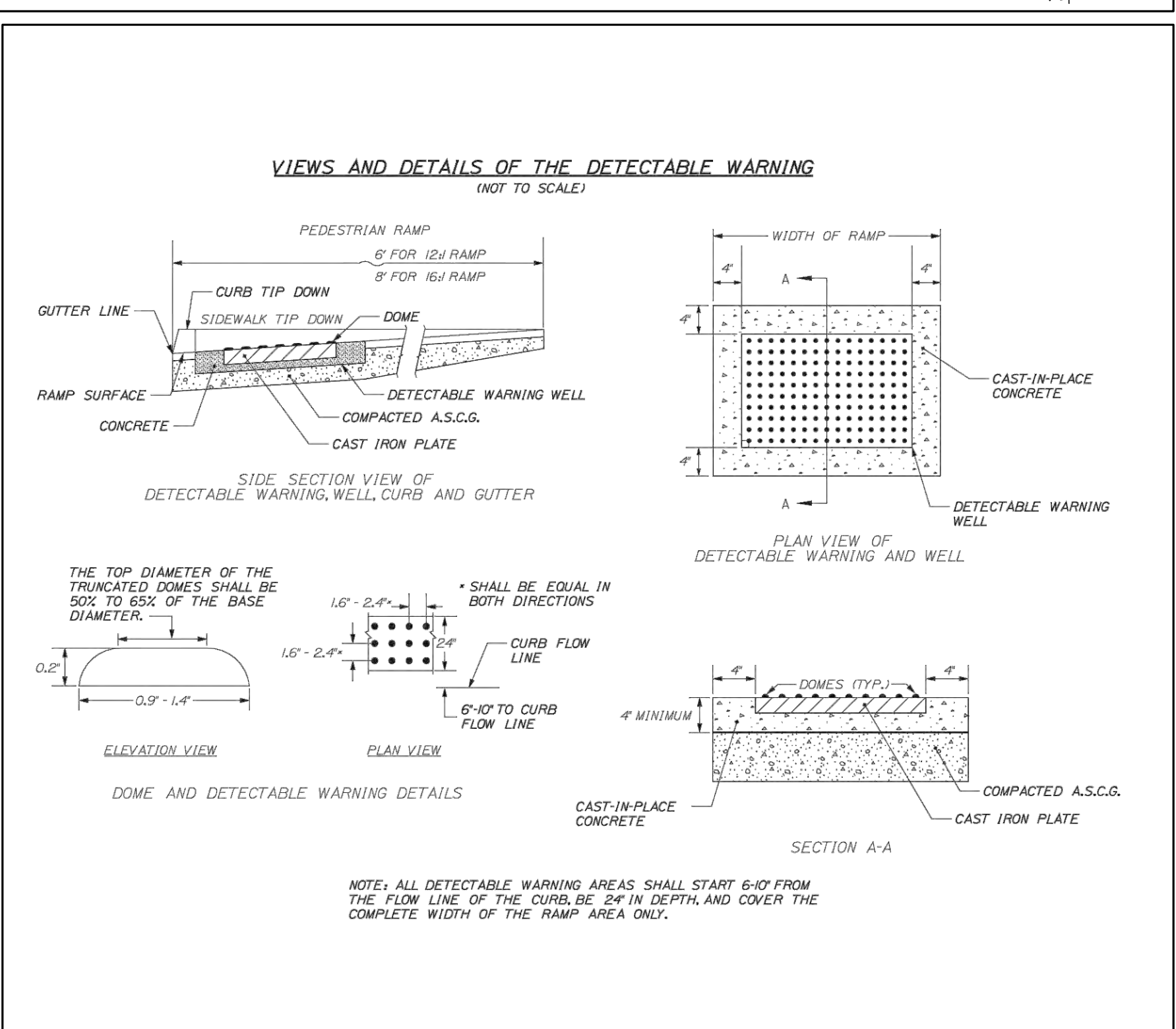
TEMPORARY EZ-PASS RETAIL AREA NOTES



⑦ BROOMED FINISHED CONCRETE SLAB NO SCALE




⑧ TEMPORARY EZ-PASS RETAIL AREA PLAN - 1ST FLOOR 1/4" = 1'-0"



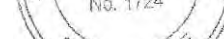
⑧ DETECTABLE WARNING DETAIL NO SCALE

Scale: AS NOTED

Designed by:



Michael F. Hays, RA



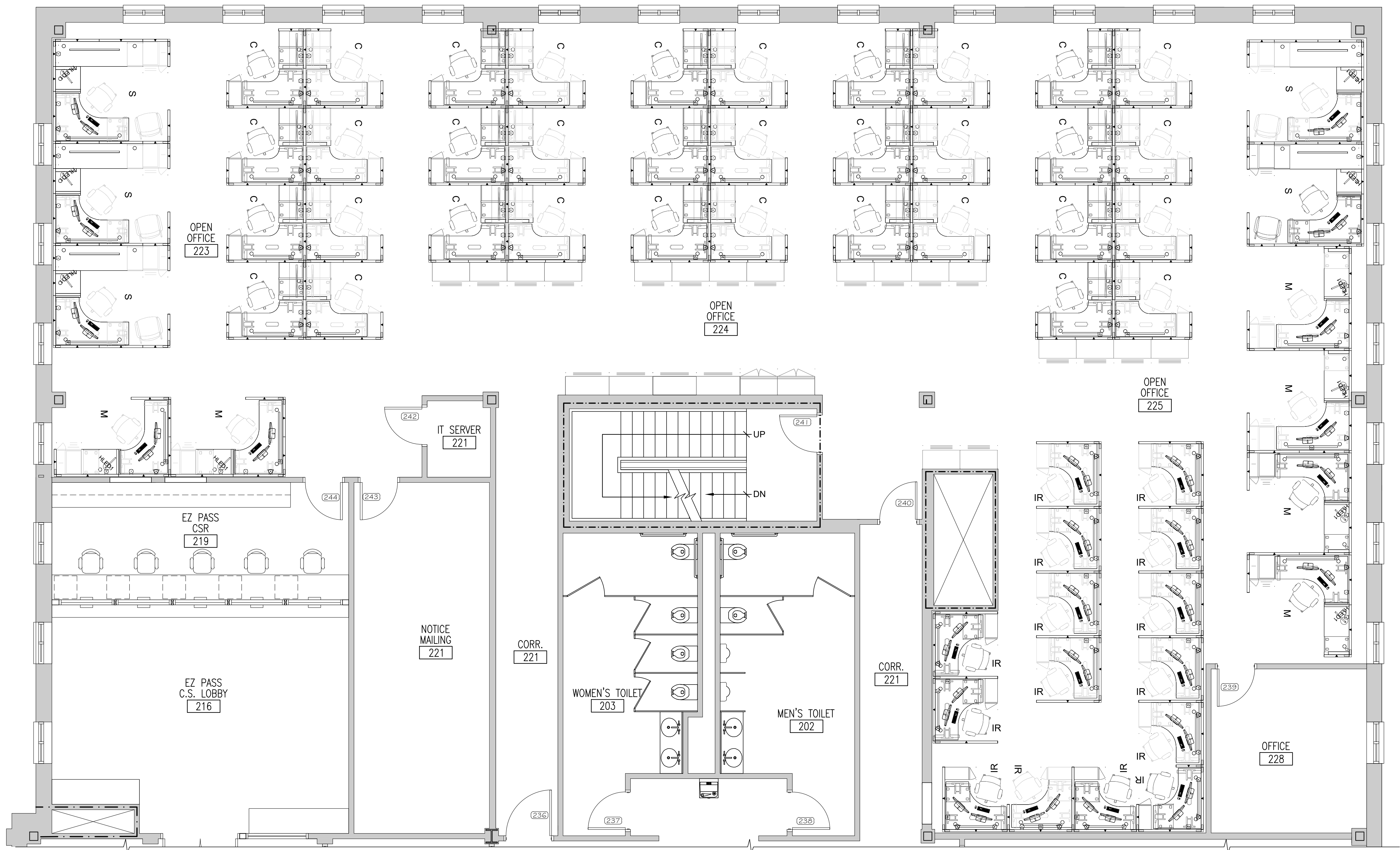
CONSULTANT PROJECT MANAGER: TIM COTE, P.E. - HNTB

	By	Date		By	Date
Designed	MFH	02/26/24	Checked	MFH	02/26/24
Drawn	MGK	02/26/24	In Charge of		

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MAINE TURNPIKE
THE GOLD STAR MEMORIAL HIGHWAY
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
TEMPORARY EZ-PASS CUSTOMER SERVICE PLAN & DETAILS
SHEET NUMBER: A-18
CONTRACT: 2023.10
30 OF 70



NOTE: PLAN IS ROTATED 90° FROM BASE

FOR REFERENCE ONLY

31 OF 70

PLUMBING FIXTURE SCHEDULE						
TAG	DESCRIPTION	BRANCH SIZES				NOTES
		CW	HW	VENT	WASTE	
WC-1	WATER CLOSET-FLUSH VALVE, FLOOR MOUNT	1"	----	2"	3"	
U-1	URINAL	3/4"	----	1-1/2"	2"	
P-1	LAVATORY, WALL HUNG	1/2"	1/2"	1-1/2"	1-1/2"	
P-2	SINGLE BOWL SINK-UNDERMOUNT	1/2"	1/2"	1-1/2"	1-1/2"	
P-3	DOUBE BOWL SINK-UNDERMOUNT	1/2"	1/2"	1-1/2"	1-1/2"	
FD-1	LIGHT DUTY FLOOR DRAIN	1/2"	----	1-1/2"	2"	

BRAZED PLATE HEAT EXCHANGER SCHEDULE														
TAG	MFR-MODEL	TYPE	SOURCE FLUID					HEATED FLUID						
			GPM	FLUID	E.W.T. DEG F	L.W.T. DEG F	P.D. (PSI)	GPM	FLUID	E.W.T. DEG F	L.W.T. DEG F	P.D. (PSI)	MBH	
HX-2	HEXONIC - LB60-50H-1"-UM	PLATE	10	WATER	140	120	3.6	8.6	40% P.G.	112	137	3.6	99	
NOTES: 1. Dimensions: 4.84"w x 21.8"h x 5.02"d, 1" connections														

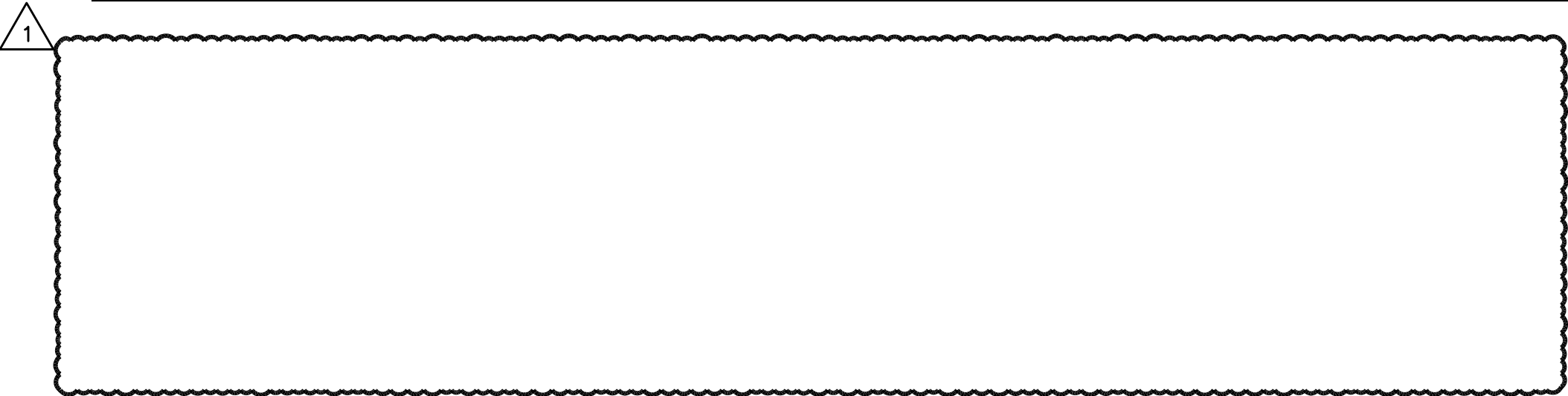
AIR SEPARATION / EXPANSION TANK SCHEDULE	
SYSTEM	PRIMARY HEATING
AIR-DIRT SEPARATOR	AS-4A
MANUFACTURER	TACO
MODEL	4902 ADMT-125
TYPE	AIR AND DIRT SEPARATOR
INLET/OUTLET	2"
BLADDER-TYPE EXPANSION TANK	ET-4A
MANUFACTURER	TACO
MODEL	CA-90-125
SYSTEM HEIGHT, FT	15
STATIC PRESSURE AT TANK, PSI	6.5
PSI REQ'D. AT HIGHEST SYS POINT	5
TANK PRE-CHARGE PRESSURE	11.5
TANK DIAMETER	20
TANK HEIGHT	29 1/8"
ACCEPTANCE VOLUME	23
WATERLOGGED WEIGHT (LBS.)	312
ASME PRESSURE RATING	125

HYDRONIC PUMP SCHEDULE														
TAG	SYSTEM	MFR.	MODEL	SUCT X DISCH	TYPE	PUMPED FLUID	PERFORMANCE		MOTOR	VOLTS/PH (60 Hz.)	ELECTRICAL COORDINATION			NOTES
							GPM	HEAD			STARTER TYPE	STARTER FURN. BY	DISC. SWITCH FURN BY	
P-3A	SNOW MELT	TACO	0026e	1 1/4" X 1 1/4"	ECM	40% PG	10	25	120 W	120/1	NA	----	DIV 26	
NOTES:														

REGISTERS - GRILLES - DIFFUSERS (RGD) SCHEDULE										
TAG	MFR.	MODEL	TYPE	NECK SIZE	FACE SIZE	MAX CFM	MAX TOTAL P.D. (IN.W.C.)	MAX NC LEVEL	BLOW	NOTES
S-1	PRICE	SMDA	SQ. CEILING SUPPLY DIFFUSER, ADJUSTABLE	9 X 9 / 8" DIA	24" X 24"	215	0.09"	20		ROUND NECK ADAPTER
S-2	PRICE	520	STEEL DOUBLE DEFLECTION SUPPLY DIFFUSER	12" X 10"	13.75" X 11.75"	500	0.10"	26	ADJUSTABLE	
R-1	PRICE	530	STEEL RETURN, 3/4" SPACING, 45 DEG VANES	12" X 12"	13.75" X 13.75"	220	0.05"	20	-----	
R-2	PRICE	530	STEEL RETURN, 3/4" SPACING, 45 DEG VANES	22" X 22"	23.75" X 23.75"	900	0.05"	20	-----	
R-3	PRICE	530	STEEL RETURN, 3/4" SPACING, 45 DEG VANES	16" X 10"	17.75" X 11.75"	450	0.07"	24	-----	
E-1	PRICE	530	STEEL EXHAUST, 3/4" SPACING, 45 DEG VANES	8" X 8"	9.75" X 9.75"	100	0.05"	20	-----	

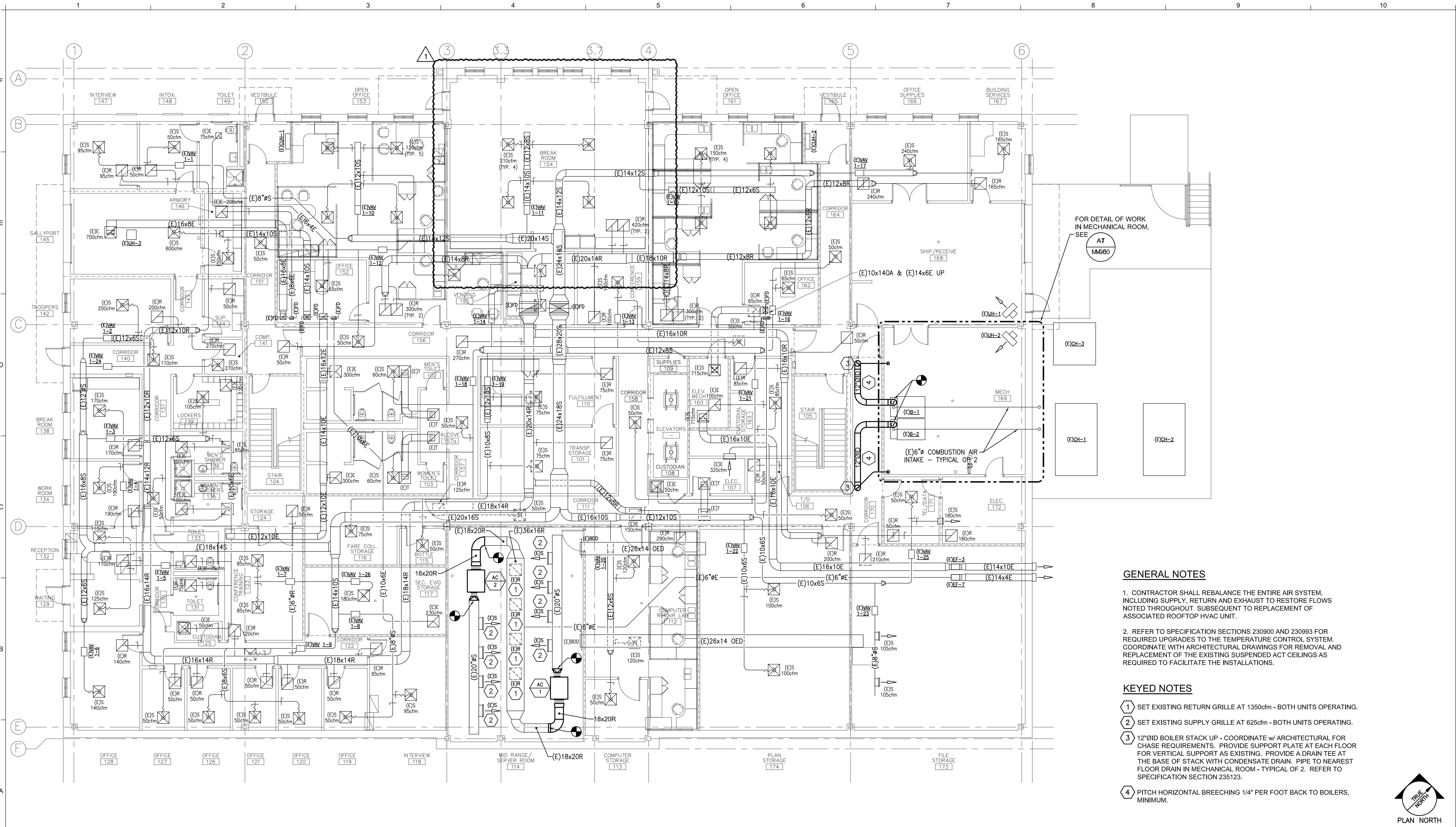
FAN SCHEDULE																
TAG	SERVES	MFR.	MODEL	TYPE	DRIVE	CFM	SP (IN. WC.)	ELECTRICAL					MAX SONES	WEIGHT (LBS.)	DAMPER	NOTES
								MOTOR BHP	MOTOR HP	MOTOR TYPE	STARTER / CONTROLLER TYPE	DISC. SWITCH FURN BY	VOLTS / PH			
EF-2R	ELEC ROOMS/BATHROOM	GREENHECK	CUE-160-VG	ROOF UPBLAST	DIRECT	1,755	.75"	0.37	0.50	ECM	ECM - FAN MFR	FAN MFR	120/1/60	10.8	76	MOD

RADIANT SNOW MELT - CIRCUIT SCHEDULE (Based on WATTS)														
MANIFOLD ZONE	AREA SERVED	CONSTRUCTION	APPROX. AREA (SF)	PANEL HEAT LOAD (MBH)	CIRCUIT QTY	APPROXIMATE CIRCUIT LENGTH (ft)	FLOW RATE (GPM) Ea.Circuit /Total	SUPPLY TEMP (°F)	TEMP DROP (°F)	AVE. SURFACE TEMP(°F)	HEAD (FT)	FLUID	TUBE SPACING (in)	TUBING
SMM-3R	SNOW MELT AT ENTRY (REPLACES EXISTING SYSTEM)	6" CONC SLAB	360	54	2	285	2.4/ 4.8	137	25	45	9.9	40% P.G.	9	3/4" RADIANT PEX+
SMM-3R	SNOW MELT AT EXTENDED SLAB AREA	6" CONC SLAB	290	43	2	250	1.9/3.8	137	25	45	9.9	40% P.G.	9	3/4" RADIANT PEX+
NOTES:														
1. CIRCUIT LENGTHS ARE APPROXIMATE; SUPPLIER SHALL COORDINATE AND CONFIRM REQUIRED LENGTHS.														



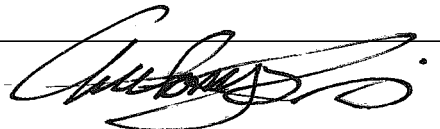
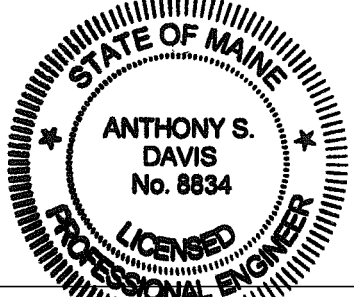
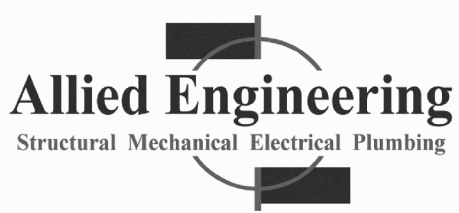
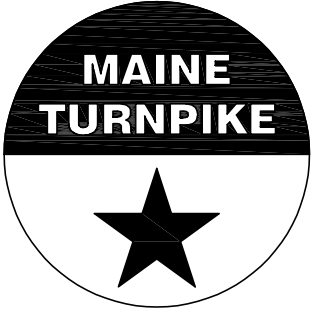
PRECISION AIR CONDITIONING UNIT SCHEDULE - EVAPORATOR SECTION																										
UNIT NO.	BASIS OF DESIGN MFR	MODEL	FLUID	TOTAL CAPACITY (BTU/H)	SENSIBLE CAPACITY (BTU/H)	FILTERS	EVAPORATOR FAN			EVAPORATOR COIL			HUMIDIFIER			CONNECTION SIZES			UNIT ELECTRICAL							
							CFM	FAN MOTOR HP	EXT SP (IN.W.C)	FACE AREA (SF)	COIL ROWS	MAX FACE VEL (FPM)	CHILLED WATER FLOW	CAPACITY	INPUT	CONTROL	CHWS/CHWR	E/VAP DRAIN	HUMIDIFIER WATER INLET	VOLTS-PH-HZ	E/VAP FAN MOTOR	ELEC HEATER	HUMIDIFIER	COND PUMP	MCA	OPD
AC-1	STULZ	OHS-060	30% PG	29,527	29,527	MERV-8	2,500	3.6	0.3	5.5	8	500	4.8	4-10 LB/HR	3.4 KW	MODULATING	1"	1/2"	1/4"	480-3-60	4.9 HP	9 KW	3.4 KW	1/5 HP	31.5	35
AC-2	STULZ	OHS-060	30% PG	29,527	29,527	MERV-8	2,500	3.6	0.3	5.5	8	500	4.8	4-10 LB/HR	3.4 KW	MODULATING	1"	1/2"	1/4"	480-3-60	4.9 HP	9 KW	3.4 KW	1/5 HP	31.5	35

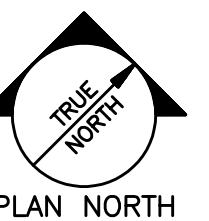
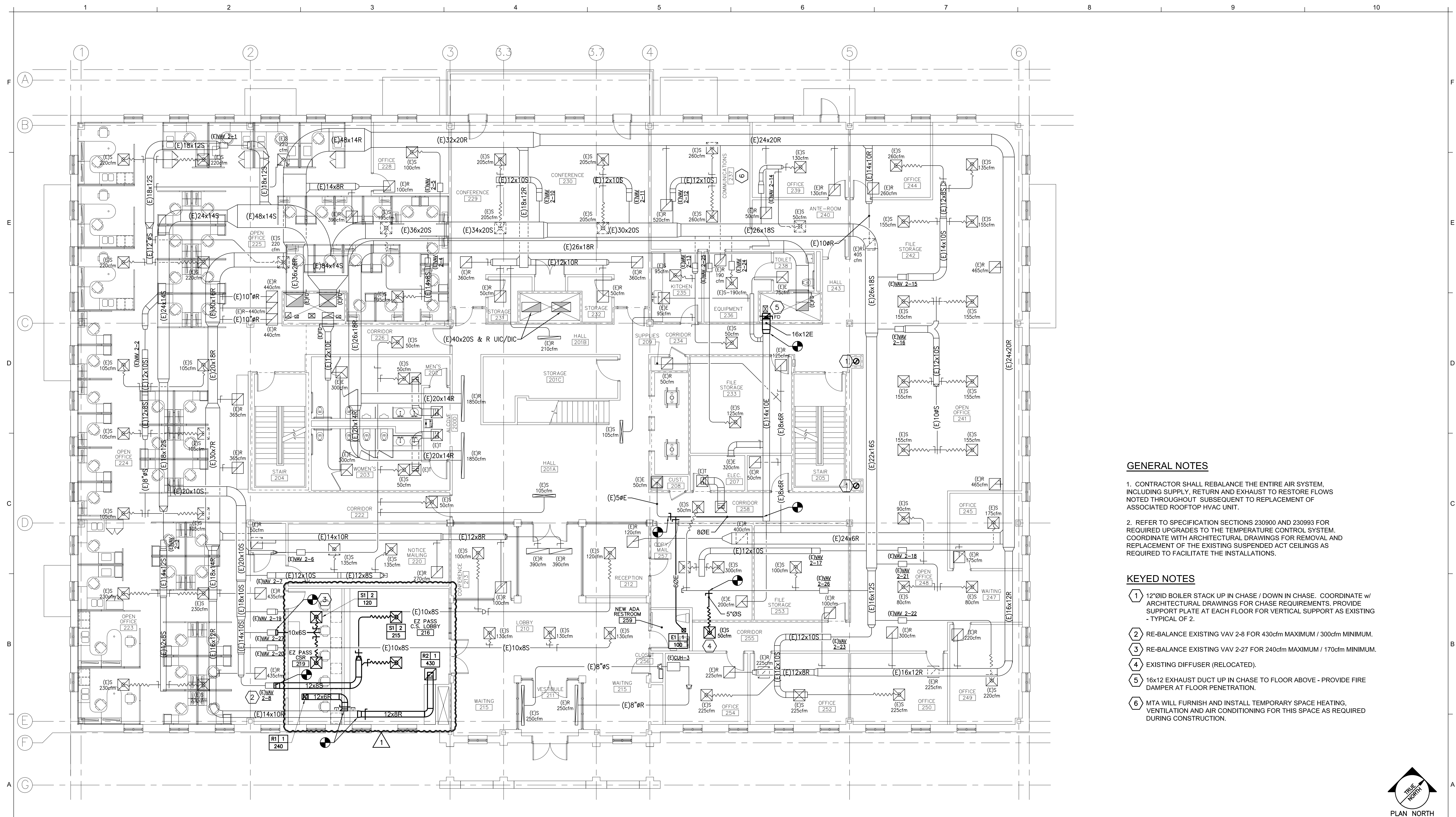
ROOF TOP AIR HANDLING UNIT SCHEDULE				
GENERAL	UNIT NO.	RTU-1	RTU-2	AHU-3
	LOCATION	ROOF	ROOF	ROOF
	MANUFACTURER	YORK	YORK	YORK
	MODEL	XTO 63X63	XTO-54X57	XTO-60X84
	WEIGHT, LBS	7,505		
ELECTRICAL	MOUNTING	EXISTING ROOF CURB	EXISTING ROOF CURB	EXISTING ROOF CURB
	VOLTAGE	480/3/60	480/3/60	480/3/60
	MOTOR EFFICIENCY	PREMIUM	PREMIUM	PREMIUM
	VFD FURN BY	DIV 23	DIV 23	DIV 23
	DISCONNECT SW. FURN BY	DIV 23	DIV 23	DIV 23
	SD FURN BY	EXISTING	EXISTING	EXISTING
	SD INSTALLED IN DUCT BY	NA	NA	NA
	SD WIRED TO HVAC CONTROLS BY	NA	NA	NA
	SD WIRED TO FIRE ALARM BY	NA	NA	NA
	SINGLE POINT POWER CONNECTION	YES	YES	YES
RETURN FAN	TYPE	SWSI AIRFOIL	SWSI AIRFOIL	SWSI AIRFOIL
	AIRFLOW MEASURING RING	YES	YES	YES
	AIRFLOW, cfm	9,080	7,020	12,165
	RPM	1,895	3,200	2,695
	ESP, in. wc.	1.65"	1.65"	1.5"
	TSP, in. wc.	2.69"	2.71"	2.57"
	MAX-BHP	6.6	4.99	9.26
	MOTOR HP	7.5	7.5	15
	STARTER OR VFD	VFD	VFD	YES
	RA DAMPERS	PARALLEL	PARALLEL	PARALLEL
ECONOMIZER SECTION	AIR MEASURING STATION	YES	YES	YES
FILTER SECTION	PREFILTER	TYPE	2" MERV 8	2" MERV 8
		MIN. AREA, sf	17.30	14.70
		MAX FILTER FACE VELOCITY	525	478
		MODULE A.P.D. (DIRTY FILTERS)	.4"	.4"
	FINAL FILTER	TYPE	4" MERV 13	4" MERV 13
		MIN. AREA, sf	17.30	14.70
		MAX FILTER FACE VELOCITY	525	478
		MODULE A.P.D. (DIRTY FILTERS)	.3"	.3"
HEATING COIL WITH ACCESS SECTION	EAT, deg-F.	44.6	33.7	52.6
	LAT, deg-F.	65	67.5	65.4
	TMBTUH	191	257	168
	MIN COIL AREA, sf	18.6	14.1	26
	COIL FACE VELOCITY, FT/MIN	488	499	487
	MAX AIR PD. in. wc.	.06"	.11"	.04"
	FLUID	WATER	WATER	WATER
	EWT, deg-F	160	160	160
	LWLT, deg-F	95	85	93.5
	GPM	6.0	7.0	5.2
CHILLED WATER COIL WITH ACCESS SECTION	MAX WATER PD. ft-H2O	0.4	1.0	.4
	ENT. AIR, DB/WB	78.5/66	80/67	77.4/66
	LVG. AIR, DB/WB	53.9/ 53.6	53.7/53.6	53.2/53
	TMBTUH	383	289	477
	SMBTUH	269	205	326
	MIN COIL AREA, sf	18.6	13.8	23.9
	MAX AIR PD. in. wc.	1.35"	1.36"	1.27"
	COIL FACE VELOCITY, FT/MIN	508	508	509
	FLUID	30% PG	30% PG	30% PG
	EWT, deg-F	42	42	42
SUPPLY FAN	LWLT, deg-F	55	55	55
	GPM	55.2	47.0	77.6
	MAX WATER PD. ft-H2O	18.0	15.4	18.5
	TYPE	SWSI AIRFOIL	SWSI AIRFOIL	SWSI AIRFOIL
	AIRFLOW MEASURING RING	YES	YES	YES
	AIRFLOW, cfm	9,080	7,020	12,165
	MIN. OA CFM	2,890	3,200	2,695
	% OA	32%	46%	22%
	RPM	1,883	1,844	1,751
	ESP, in. wc.	1.6"	1.5"	1.5"
SECTION ARRANGEMENT	TSP, in. wc.	5.52"	5.69"	5.66"
	MAX-BHP	11.25	9.02	15.5
	MOTOR HP	15	10	20
	STARTER OR VFD	VFD	VFD	VFD
	BACK TO FRONT	IP, FR, EE, RF, HC, XA, CC, FS	IP, FR, EE, RF, HC, XA, CC, FS	IP, FR, EE, RF, HC, XA, CC, FS
NOTES: IP= INLET PLENUM FR= RETURN FAN EE= MIXING BOX RF= FILTER SECTION HC= HEATING COIL XA = ACCESS SECTION CC= COOLKING COIL FS= SUPPLY FAN				



- GENERAL NOTES**
1. CONTRACTOR SHALL REBALANCE THE ENTIRE AIR SYSTEM, INCLUDING SUPPLY, RETURN AND EXHAUST TO RESTORE FLOWS NOTED THROUGHOUT. SUBSEQUENT TO REPLACEMENT OF ASSOCIATED ROOFTOP HVAC UNIT.
 2. REFER TO SPECIFICATION SECTIONS 230900 AND 230993 FOR REQUIRED UPGRADES TO THE TEMPERATURE CONTROL SYSTEM. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR REMOVAL AND REPLACEMENT OF THE EXISTING SUSPENDED ACT CEILINGS AS REQUIRED TO FACILITATE THE INSTALLATIONS.
- KEYED NOTES**
- 1 SET EXISTING RETURN GRILLE AT 1350cfm - BOTH UNITS OPERATING.
 - 2 SET EXISTING SUPPLY GRILLE AT 625cfm - BOTH UNITS OPERATING.
 - 3 12"ØID BOILER STACK UP - COORDINATE w/ ARCHITECTURAL FOR CHASE REQUIREMENTS. PROVIDE SUPPORT PLATE AT EACH FLOOR FOR VERTICAL SUPPORT AS EXISTING. PROVIDE A DRAIN TEE AT THE BASE OF STACK WITH CONDENSATE DRAIN. PIPE TO NEAREST FLOOR DRAIN IN MECHANICAL ROOM - TYPICAL OF 2. REFER TO SPECIFICATION SECTION 235123.
 - 4 PITCH HORIZONTAL BREECHING 1/4" PER FOOT BACK TO BOILERS, MINIMUM.



A1		MECHANICAL PLAN - FIRST FLOOR	
1/8" = 1'-0"			
Scale: AS NOTED		Designed by: 	
		ANTHONY S. DAVIS, P.E.	
			
		 160 Veranda Street Portland, Maine 04103 P: 207.221.2260 F: 207.221.2266 Web: www.allied-eng.com	
			
		THE GOLD STAR MEMORIAL HIGHWAY	
		MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT MECHANICAL PLAN - FIRST FLOOR	
		SHEET NUMBER: MH-1 38 OF 70	
		CONTRACT: 2023.10	
		MTA PROJECT MANAGER: JACQUELINE HANSEN	
		AEI PROJECT No.: 22095	
		CONSULTANT PROJECT MANAGER:	
		By Date By Date	
		Designed ASD 02/26/2024 Checked ASD 02/26/2024	
		Drawn REW 02/26/2024 In Charge of	
		No. Revision By Date	
		1 Addendum No. 2 AEI 3/19/2024	



A1	MECHANICAL PLAN - SECOND FLOOR
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1/8" = 1'-0"	
Scale: AS NOTED	

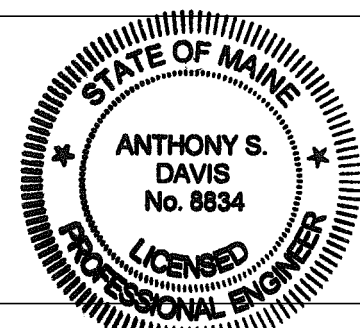
Designed by:

ANTHONY S. DAVIS, P.E.

CONSULTANT PROJECT MANAGER:	
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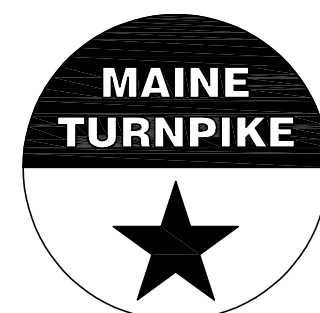
No.	Revision	By	Date
1	Addendum No. 2	AEI	3/19/2024

	By	Date		By	Date
Designed	ASD	02/26/2024	Checked	ASD	02/26/2024
Drawn	REW	02/26/2024	In Charge of		



Allied Engineering
Structural Mechanical Electrical Plumbing

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THE GOLD STAR MEMORIAL HIGHWAY

MTA PROJECT MANAGER:

JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
MECHANICAL PLAN
- SECOND FLOOR

SHEET NUMBER: MH-2
39 OF 70

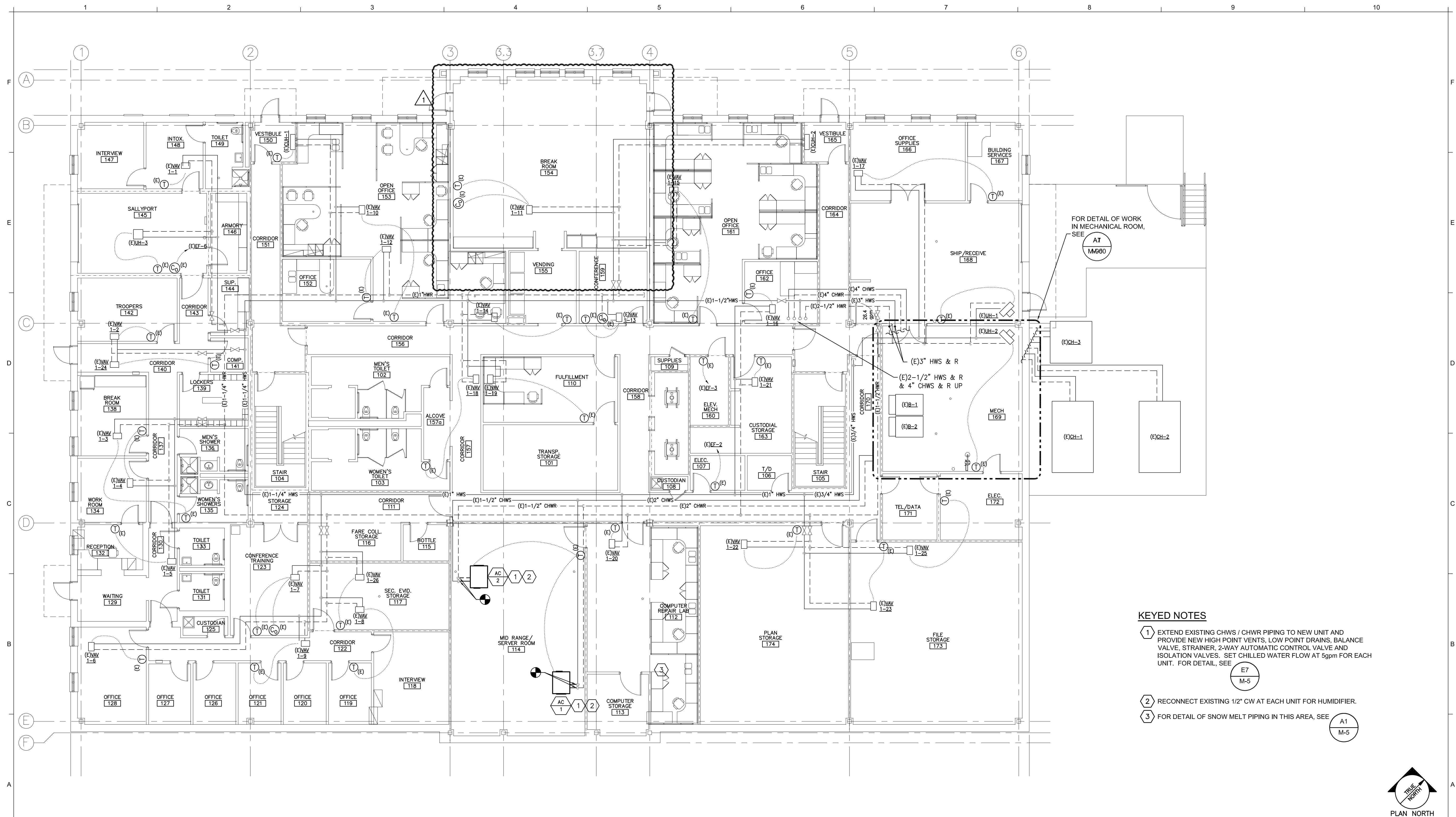
GENERAL NOTES

1. CONTRACTOR SHALL REBALANCE THE ENTIRE AIR SYSTEM, INCLUDING SUPPLY, RETURN AND EXHAUST TO RESTORE FLOWS NOTED THROUGHOUT SUBSEQUENT TO REPLACEMENT OF ASSOCIATED ROOFTOP HVAC UNIT.

2. REFER TO SPECIFICATION SECTIONS 230900 AND 230993 FOR REQUIRED UPGRADES TO THE TEMPERATURE CONTROL SYSTEM. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR REMOVAL AND REPLACEMENT OF THE EXISTING SUSPENDED ACT CEILINGS AS REQUIRED TO FACILITATE THE INSTALLATIONS.

KEYED NOTES

- 1 12"ØID BOILER STACK UP IN CHASE / DOWN IN CHASE. COORDINATE w/ ARCHITECTURAL DRAWINGS FOR CHASE REQUIREMENTS. PROVIDE SUPPORT PLATE AT EACH FLOOR FOR VERTICAL SUPPORT AS EXISTING - TYPICAL OF 2.
- 2 RE-BALANCE EXISTING VAV 2-8 FOR 430cfm MAXIMUM / 300cfm MINIMUM.
- 3 RE-BALANCE EXISTING VAV 2-27 FOR 240cfm MAXIMUM / 170cfm MINIMUM.
- 4 EXISTING DIFFUSER (RELOCATED).
- 5 16x12 EXHAUST DUCT UP IN CHASE TO FLOOR ABOVE - PROVIDE FIRE DAMPER AT FLOOR PENETRATION.
- 6 MTA WILL FURNISH AND INSTALL TEMPORARY SPACE HEATING, VENTILATION AND AIR CONDITIONING FOR THIS SPACE AS REQUIRED DURING CONSTRUCTION.



A1	MECHANICAL PIPING PLAN - FIRST FLOOR
----	--------------------------------------

1/8" = 1'-0"

Scale:	AS NOTED
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Designed by:

ANTHONY S. DAVIS, P.E.

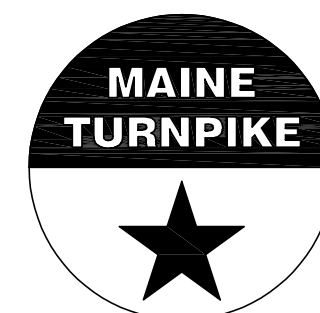
CONSULTANT PROJECT MANAGER:	
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No.	Revision	By	Date
1	Addendum No. 2	AEI	3/19/2024

	By	Date		By	Date
Designed	ASD	02/26/2024	Checked	ASD	02/26/2024
Drawn	REW	02/26/2024	In Charge of		

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THE GOLD STAR MEMORIAL HIGHWAY

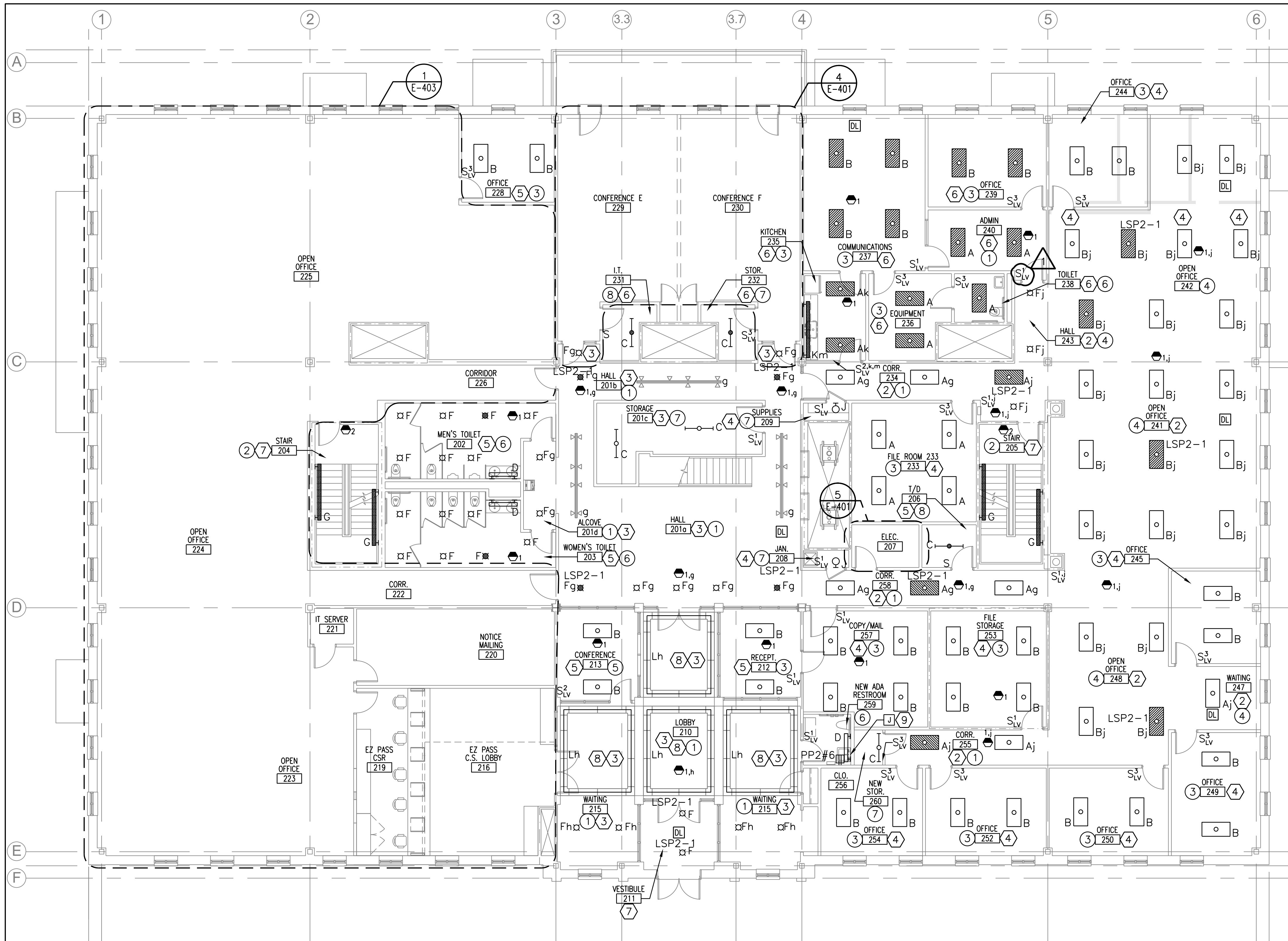
MTA PROJECT MANAGER:

JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
MECHANICAL PIPING PLAN
- FIRST FLOOR

SHEET NUMBER: MP-1

42 OF 70



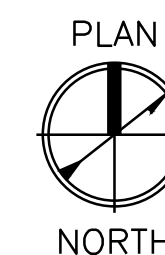
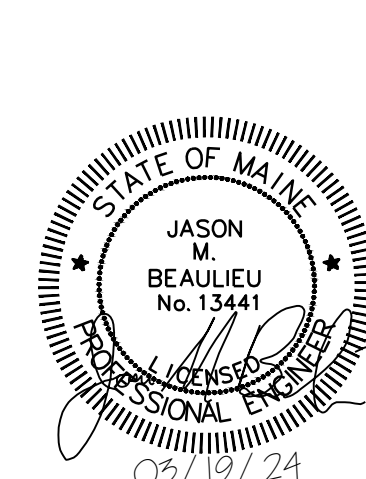
SECOND FLOOR PLAN
1/8" = 1'-0"

NOTES:

- SEE E-001 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- EXTEND EXISTING WIRING AND CONDUIT TO ALL NEW LIGHT FIXTURES.
- CIRCUITING PROVIDED WAS REFERENCED FROM EXISTING DRAWING, PROJECT #06016 SHEET EL102. FIELD VERIFY ALL CIRCUITS.
- SUSPENDED FIXTURES MUST BE HUNG AT SAME HEIGHT AS THE DEMOLISHED FIXTURE.

KEYED NOTES:

- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-1, UNLESS OTHERWISE NOTED.
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-2, UNLESS OTHERWISE NOTED.
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-3, UNLESS OTHERWISE NOTED.
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-4, UNLESS OTHERWISE NOTED.
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP2-6, UNLESS OTHERWISE NOTED.
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LSP2-3.
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LSP2-1.
- PROVIDE TAPE LIGHTING WITHIN EXISTING COVE FIXTURE HOUSING. SEE DETAILS ON E-501.
- LOCATE JUNCTION BOX UNDER SINK FOR PLUMBING FIXTURE POWER SUPPLY. CIRCUIT TO BATHROOM GFCI RECEPTACLE.



Scale: 1/8" = 1'-0"

Scale: AS NOTED

No.	Revision	By	Date
1	ADDENDUM 2	JMB	3/19/24

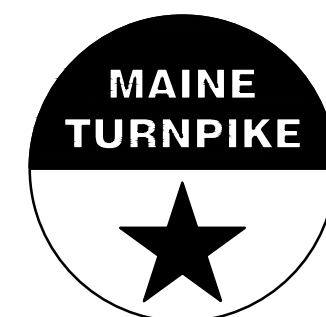
Designed by:
COLBY COMPANY, LLC
Engineering & Design
47A York Street, Portland, ME 04101
207.553.7753

CONSULTANT PROJECT MANAGER: JASON BEAULIEU

	By	Date		By	Date
Designed	JMB	04/21/23	Checked	JMB	04/21/23
Drawn	ACY	04/21/23	In Charge of		



47A York St
Portland, ME
04101
207.553.7753



THE GOLD STAR
MEMORIAL HIGHWAY

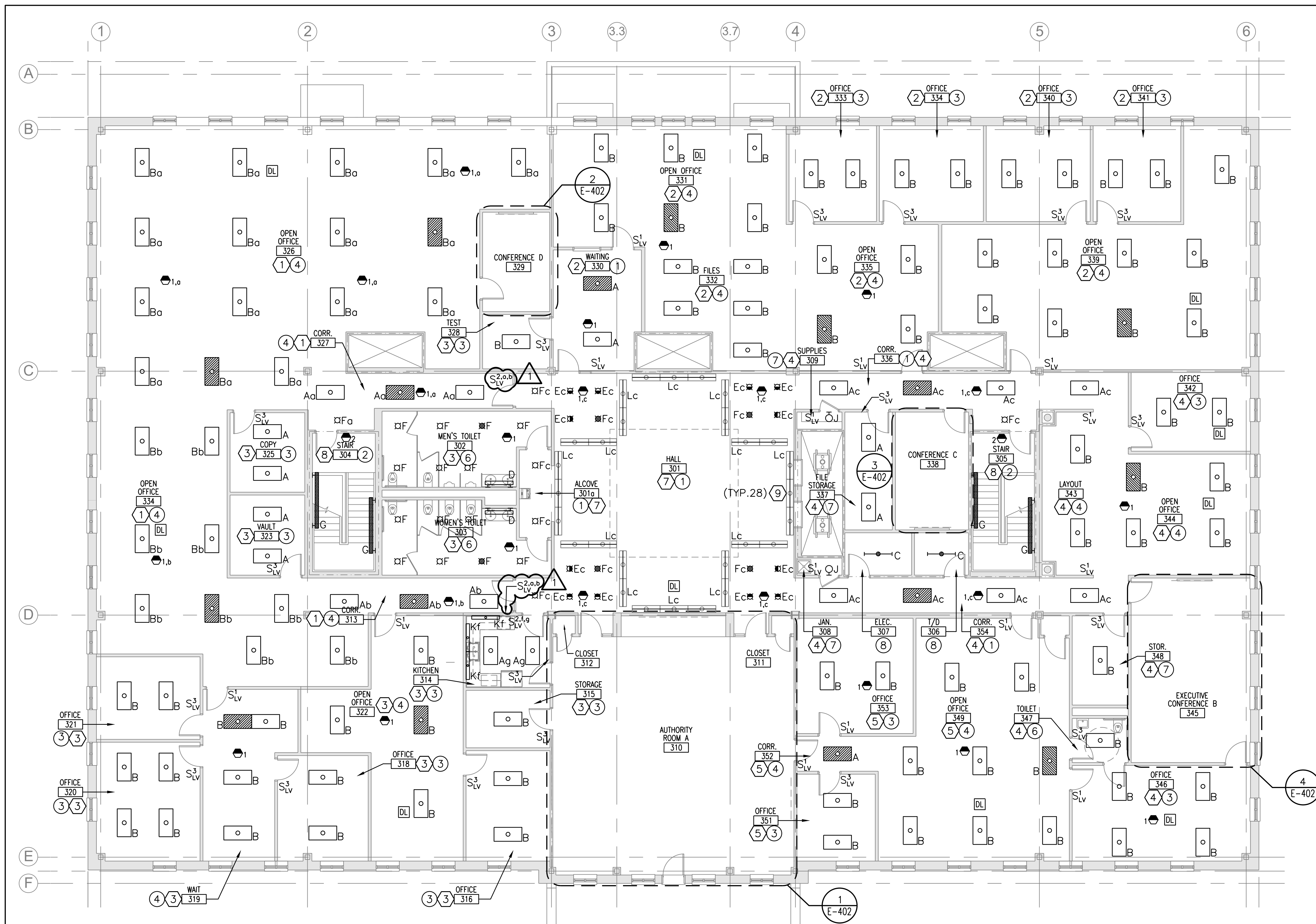
MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT
SECOND FLOOR PLAN

CONTRACT: 2023-10

SHEET NUMBER: E-102

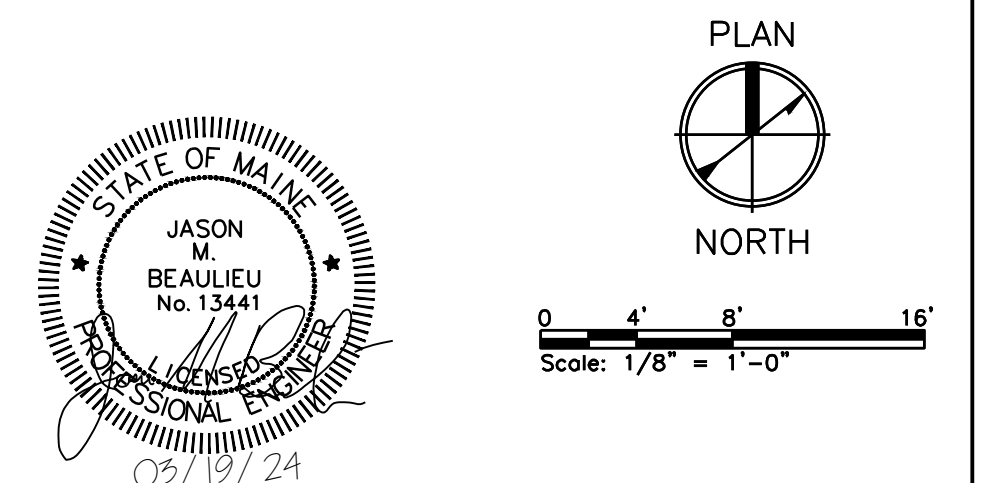
58 OF 70


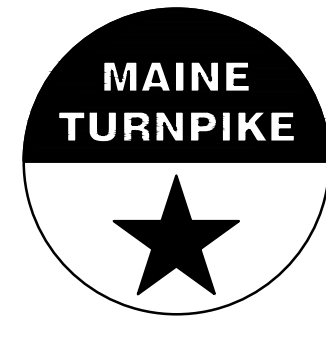


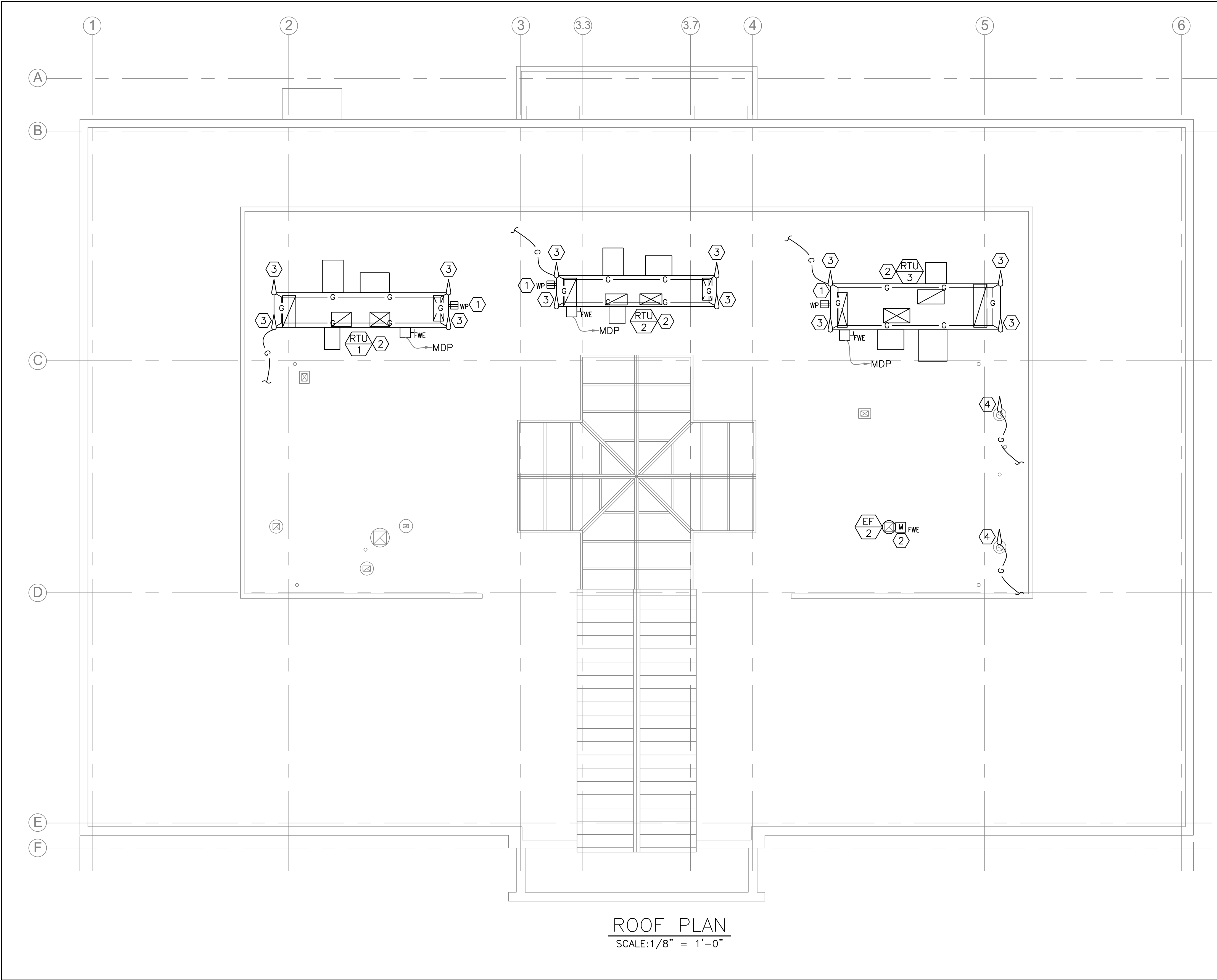
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
- SEE E-001 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
 - EXTEND EXISTING WIRING AND CONDUIT TO ALL NEW LIGHT FIXTURES.
 - CIRCUITING PROVIDED WAS REFERENCED FROM EXISTING DRAWING, PROJECT #06016 SHEET EL103. CIRCUITS HAVE NOT BEEN FIELD VERIFIED.
 - SUSPENDED FIXTURES MUST BE HUNG AT SAME HEIGHT AS THE DEMOLISHED FIXTURE.

- KEYED NOTES:
- FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-1, UNLESS OTHERWISE NOTED.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-2, UNLESS OTHERWISE NOTED.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-3, UNLESS OTHERWISE NOTED.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-4, UNLESS OTHERWISE NOTED.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-5, UNLESS OTHERWISE NOTED.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-6, UNLESS OTHERWISE NOTED.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LP3-7.
 - FIXTURES WITHIN THIS SPACE CONNECTED TO CIRCUIT LSP1-1.
 - PROVIDE TAPE LIGHTING WITHIN EXISTING COVE FIXTURE HOUSING. SEE DETAILS ON E-501.



Scale: AS NOTED				Designed by: COLBY COMPANY, LLC Engineering & Design 47A York Street, Portland, ME 04101 207.553.7753				<div><div>47A York St Portland, ME 04101 207.553.7753</div></div>				<div><div>THE GOLD STAR MEMORIAL HIGHWAY</div></div>				MTA HEADQUARTERS BUILDING IMPROVEMENTS PROJECT THIRD FLOOR PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
No.	Revision	By	Date	CONSULTANT PROJECT MANAGER: JASON BEAULIEU																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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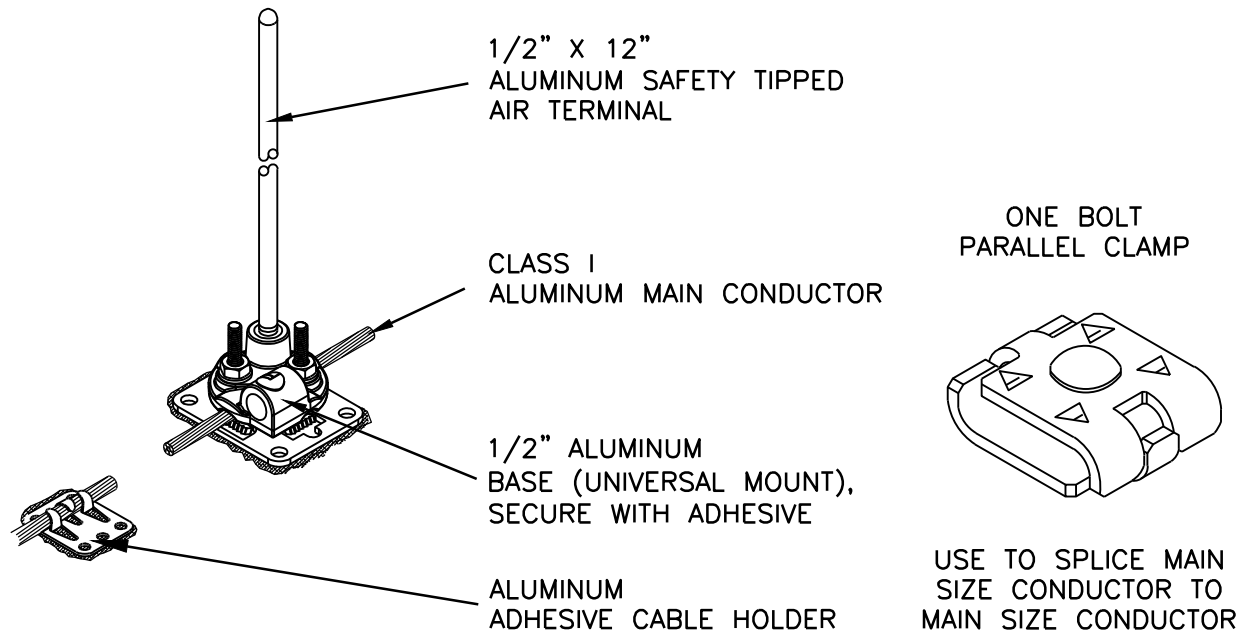
ROOF PLAN
SCALE: 1/8" = 1'-0"

NOTES:

- SEE E-001 FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES.
- PERFORM ALL LIGHTNING PROTECTION WORK IN ACCORDANCE WITH NFPA780 2023. INSTALLER MUST HAVE AN ACCREDITATION FROM OSHA AND NRTL FOR LIGHTNING PROTECTION SYSTEM INSTALLATION.

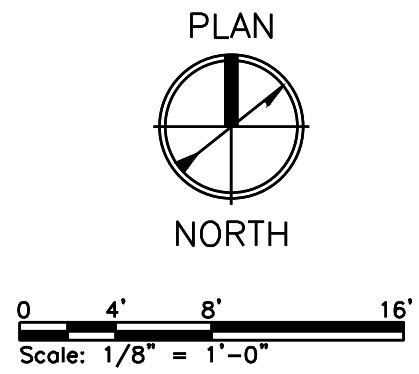
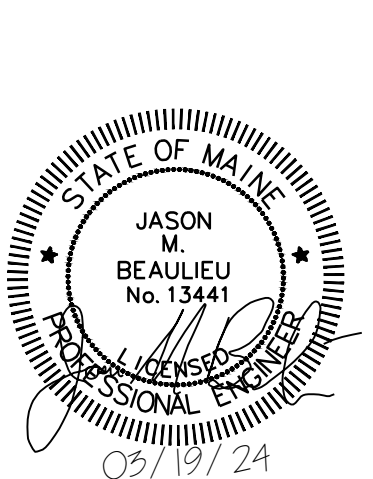
KEYED NOTES:

- PROVIDE GFCI RECEPTACLE OF SIDE OF ROOF TOP UNIT FOR LOCAL CONVENIENCE POWER. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR. UTILIZE RECEPTACLE 120V CIRCUIT TO POWER RTU'S PACKAGED 120V LIGHTING CIRCUIT.
- RECONNECT POWER, DDC CONTROLS, AND FACP CONNECTIONS. EXTEND WIRING AND CONDUIT AS NECESSARY.
- PROVIDE 1/2" X 12" ALUMINUM SAFETY TIPPED AIR TERMINALS MOUNTED TO TOP OF RTU USING ALUMINUM UNIVERSAL BASES MOUNTED TO STACK WITH ADHESIVE.. CONNECT TO EXISTING LIGHTNING PROTECTION SYSTEM, MATCH EXISTING CONDUCTOR SIZE AND TYPE. RECERTIFY LIGHTNING PROTECTION SYSTEM.
- PROVIDE 1/2" X 12" ALUMINUM SAFETY TIPPED AIR TERMINALS MOUNTED TO TOP OF BOILER STACK USING ALUMINUM UNIVERSAL BASES MOUNTED TO STACK WITH ADHESIVE. CONNECT TO EXISTING LIGHTNING PROTECTION SYSTEM, MATCH EXISTING CONDUCTOR SIZE AND TYPE. PROVIDE NEW UL96A MASTER LABEL LISTING FOR LIGHTNING PROTECTION SYSTEM.



DETAIL-LIGHTNING PROTECTION
SYSTEM COMPONENTS

1
E-104 SCALE: NTS



Scale: AS NOTED

Designed by:
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47A York Street, Portland, ME 04101
207.553.7753

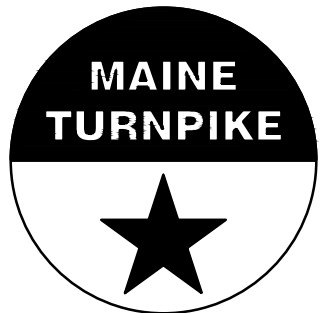
CONSULTANT PROJECT MANAGER: JASON BEAULIEU

No.	Revision	By	Date	No.	Revision	By	Date
1	ADDENDUM 2	JMB	3/19/24				

By	Date	By	Date
JMB	04/21/23	JMB	04/21/23
ACY	04/21/23		



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THE GOLD STAR
MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

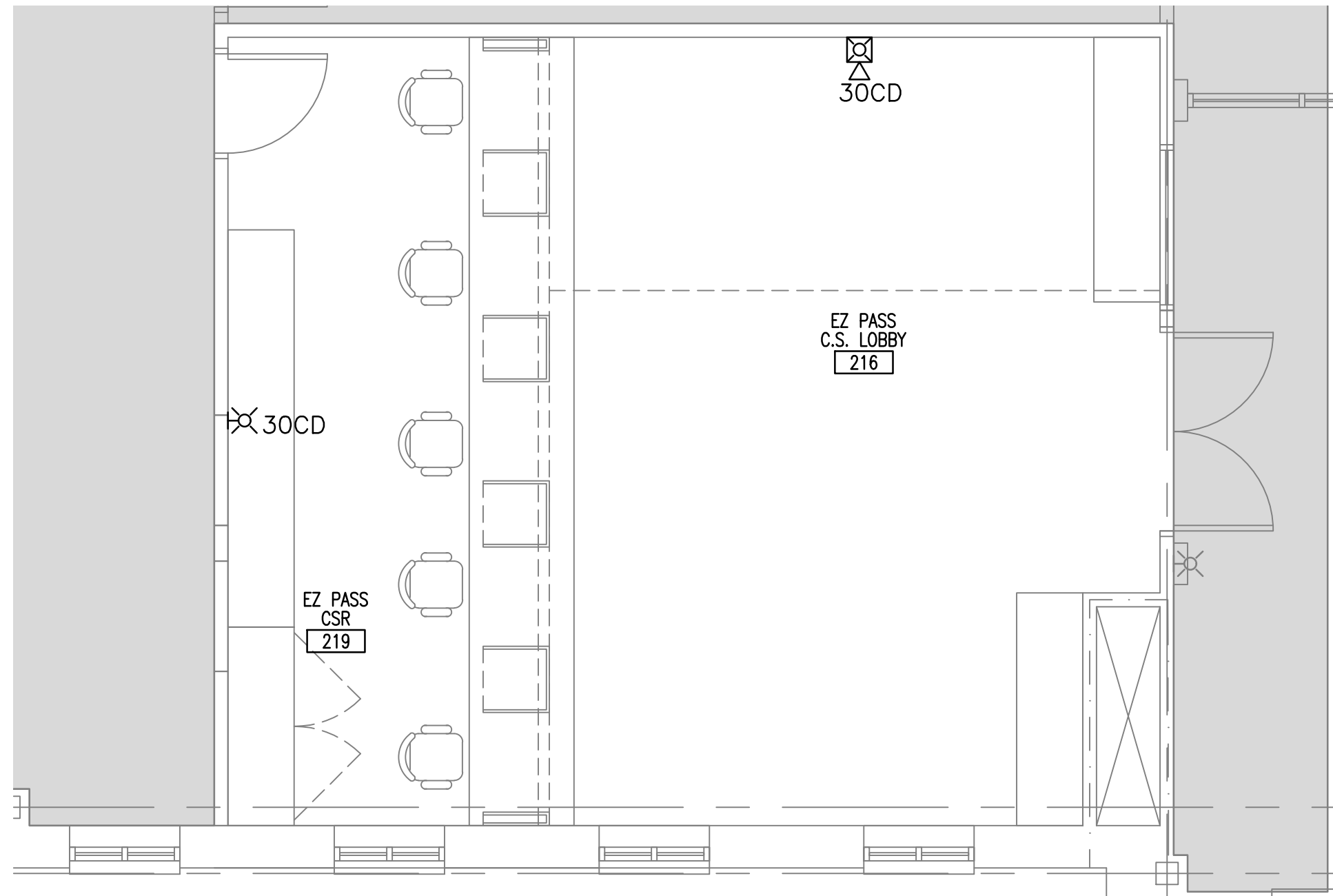
MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT

ROOF PLAN

CONTRACT: 2023-10

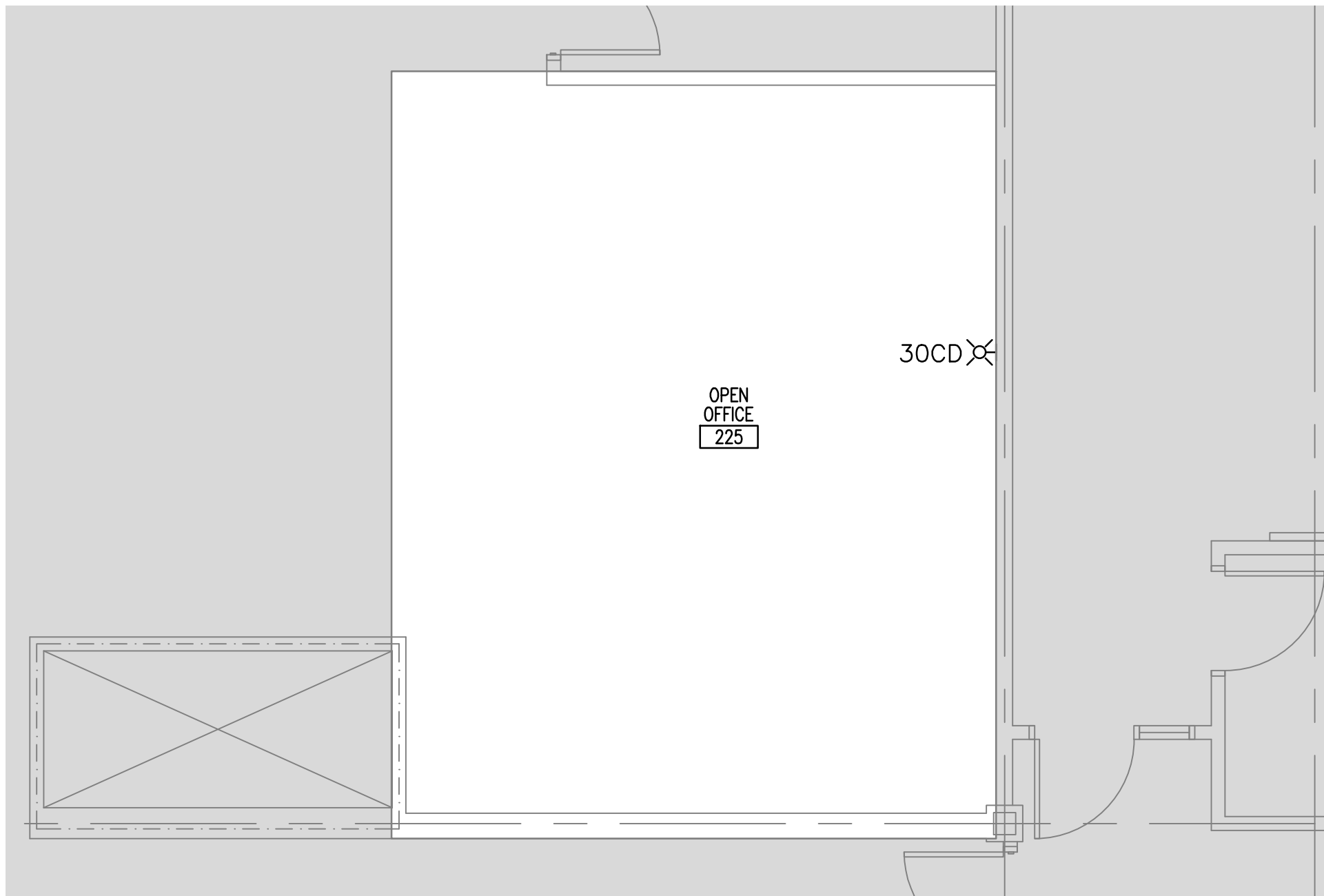
SHEET NUMBER: E-104

60 OF 70



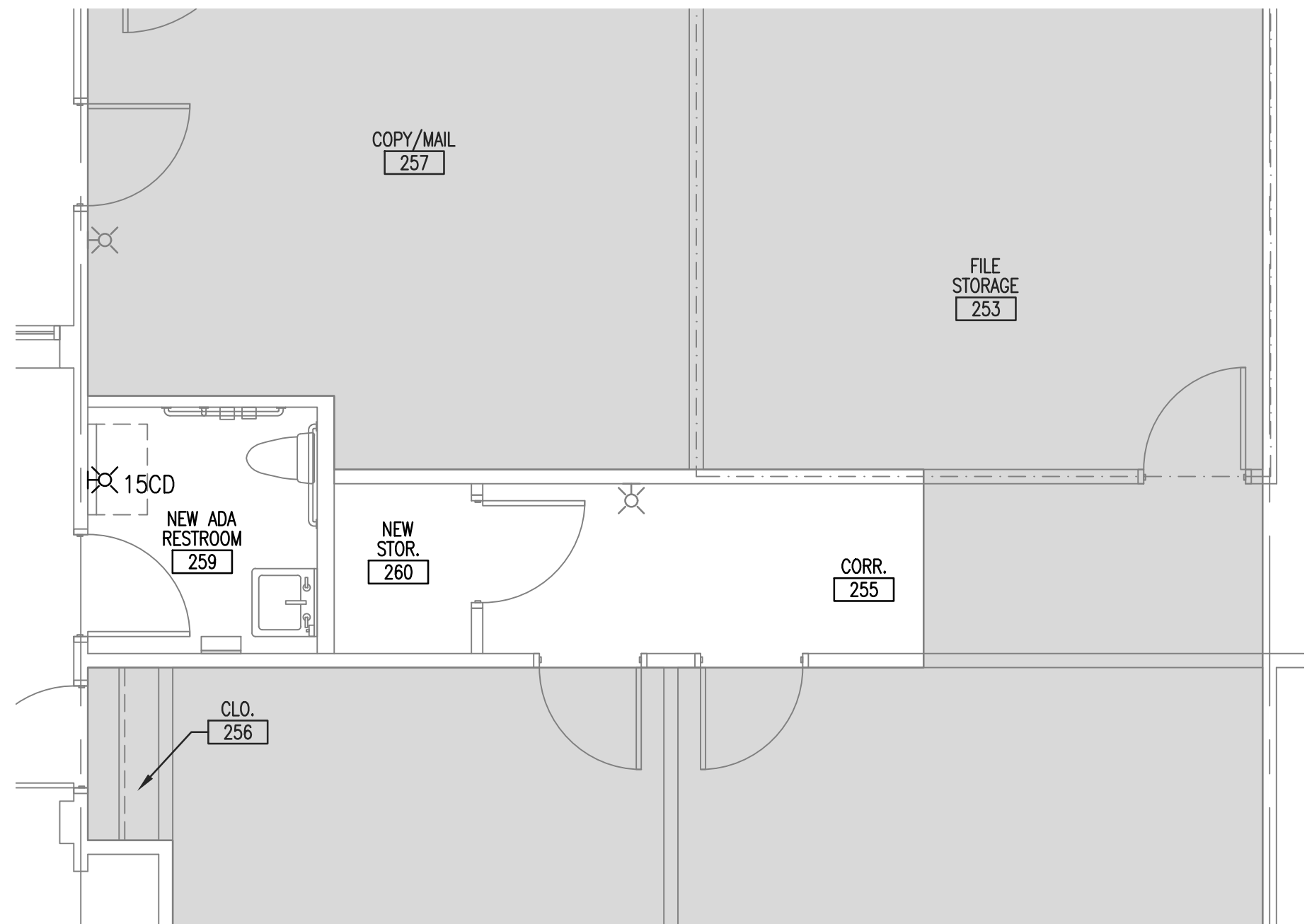
SECOND FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"



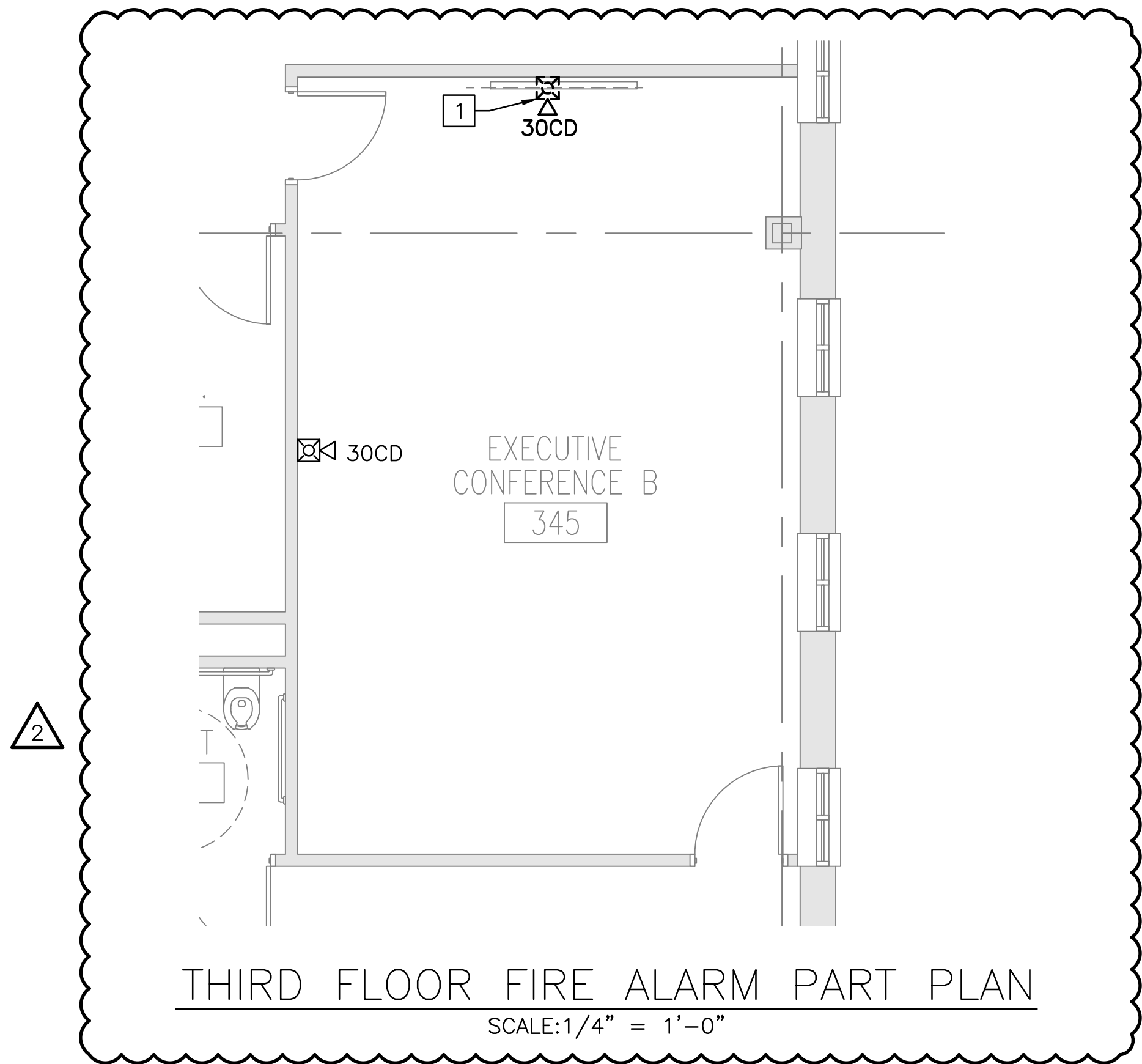
SECOND FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"



SECOND FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"

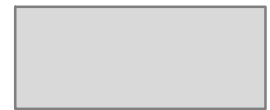


THIRD FLOOR FIRE ALARM PART PLAN

SCALE:1/4" = 1'-0"

NOTES:

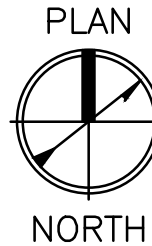
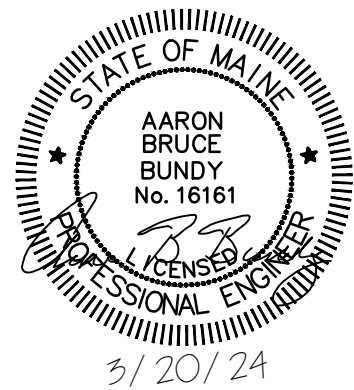
- SEE SHEET FA001 FOR NOTES, LEGENDS, AND DETAILS.
- EXISTING ADDRESSABLE FIRE ALARM CONTROL PANEL LOCATED IN VESTIBULE 165 ON FIRST FLOOR.
- COORDINATE WITH OTHER TRADES FOR WORK PERFORMED.



NOT IN SCOPE OF WORK

DEMOLITION KEYED NOTES:

- TEST AND INSPECT EXISTING NOTIFICATION APPLIANCES PRIOR TO REMOVAL. REMOVE ASSOCIATED WIRING AND CONDUIT. IF APPLIANCE PASSES, RELOCATE TO THE SHOWN LOCATIONS ON THIS SHEET. IF NOTIFICATION APPLIANCE DOES NOT PASS, PROVIDE NEW APPLIANCE COMPATIBLE WITH EXISTING SYSTEM AND CAPABLE OF BEING SYNCHRONIZED WITH EXISTING NOTIFIER NFW2-100 SERIES. THE MANUFACTURER OF THE EXISTING NOTIFICATION APPLIANCE IS EATON.



Scale: 1/4" = 1'-0"

Scale: AS NOTED

Designed by:
COLBY COMPANY, LLC
Engineering & Design
47A York Street, Portland, ME 04101
207.553.7753

CONSULTANT PROJECT MANAGER: JASON BEAULIEU

	By	Date		By	Date
Designed	CDN	01/25/24	Checked	ABB	01/25/24
Drawn	SBC	01/25/24	In Charge of		



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THE GOLD STAR
MEMORIAL HIGHWAY

MTA PROJECT MANAGER: JACQUELINE HANSEN

MTA HEADQUARTERS
BUILDING IMPROVEMENTS PROJECT

SECOND FLOOR FIRE ALARM PART PLANS

SHEET NUMBER: FA102

51 OF 70

CONTRACT: 2023-10